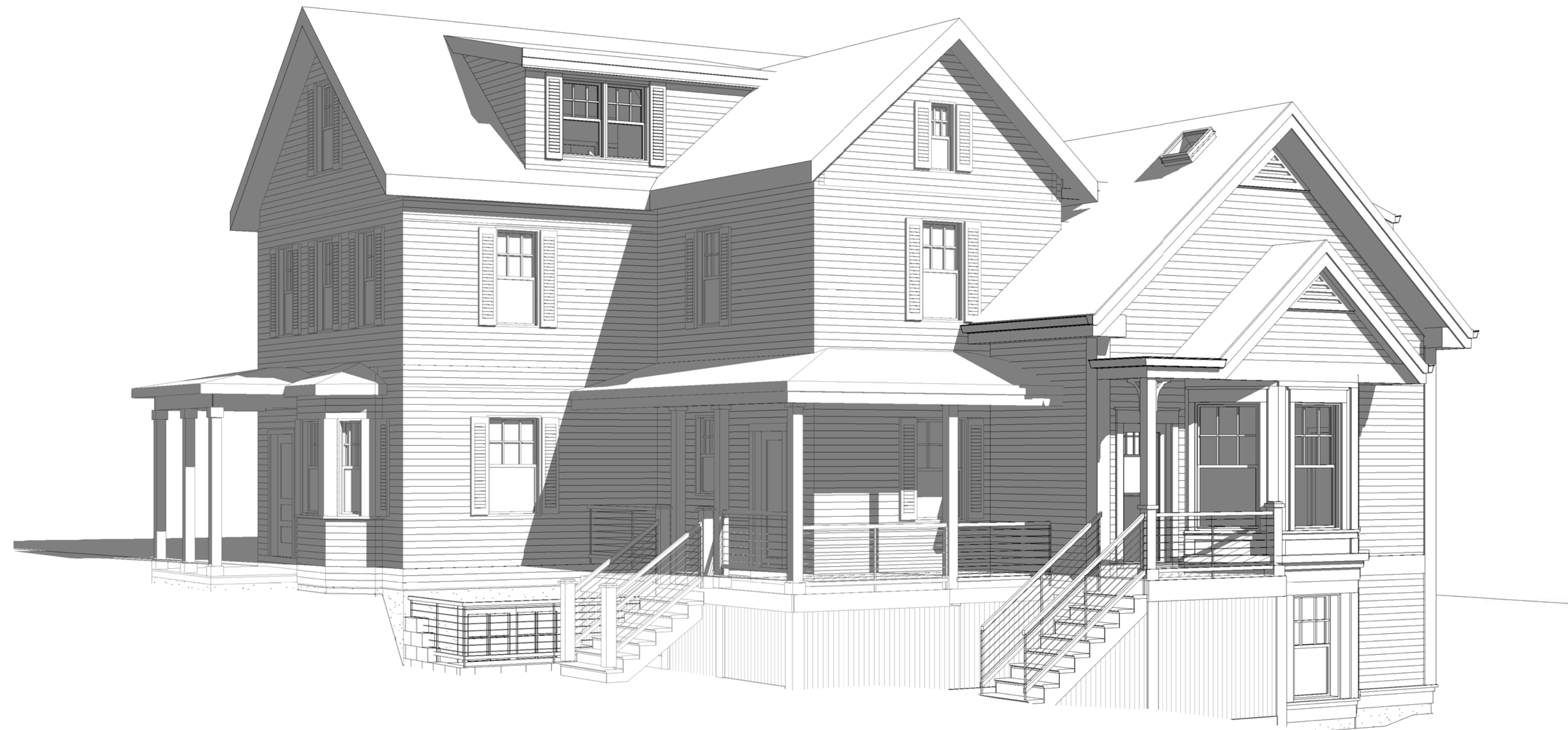


88 IRVING STREET RESIDENCES

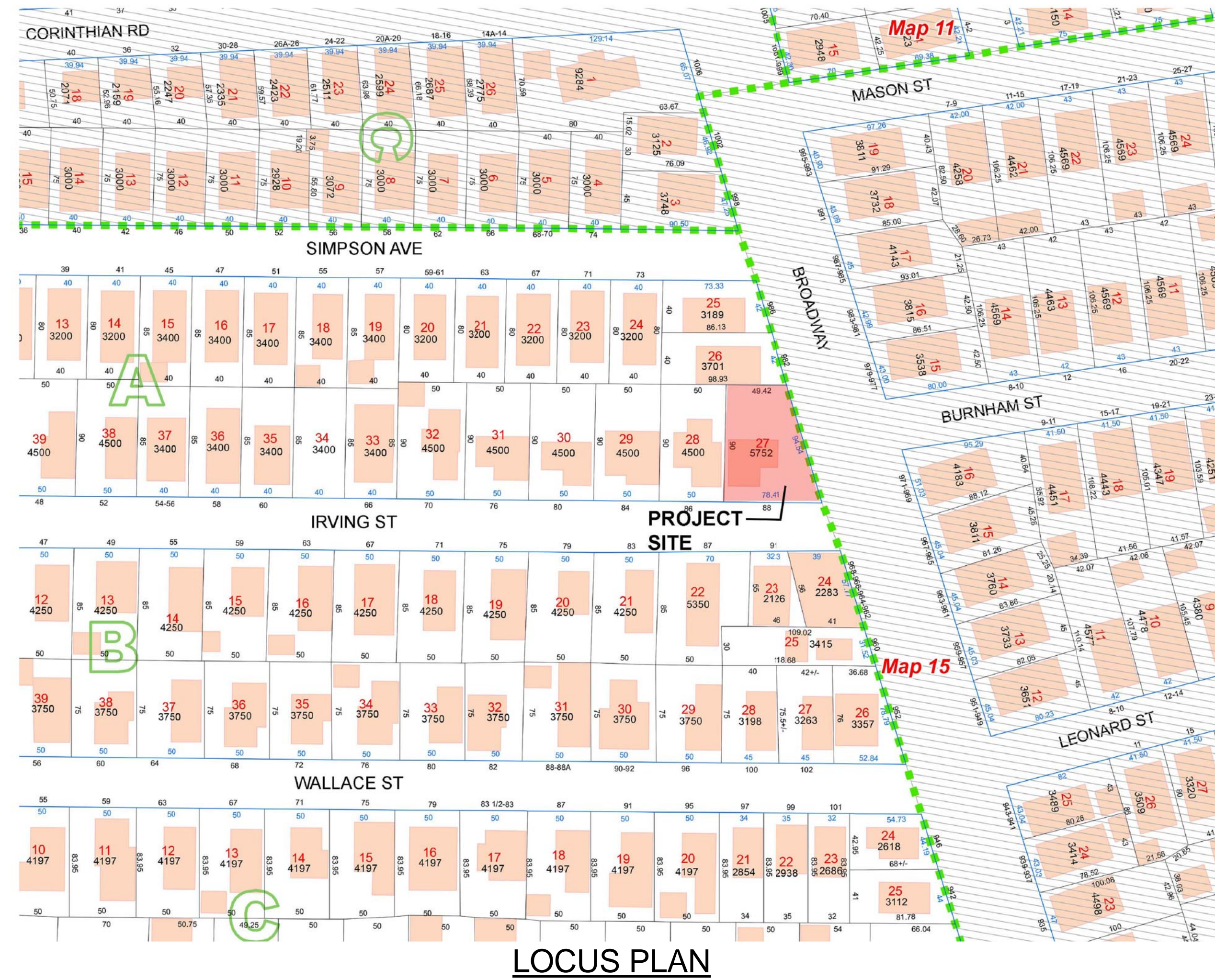
88 IRVING STREET, SOMERVILLE, MA



SPECIAL PERMIT SET

05/23/2017

REVISED 07/21/2017



LOCUS PLAN

PREPARED BY

ARCHITECT
 KHALSA DESIGN INC.
 ADDRESS:
 17 IVALOO STREET, SUITE 400
 SOMERVILLE, MA 02143

CLIENT
 GFC DEVELOPMENT

CIVIL
 DESIGN CONSULTANTS INC.
 ADDRESS:
 120 MIDDLESEX AVENUE
 SOMERVILLE, MA 02145

PROJECT NAME
88 IRVING ST RESIDENCES

PROJECT ADDRESS
 88 IRVING STREET
 SOMERVILLE, MA

CLIENT
GFC DEVELOPMENT

ARCHITECT

KHALSA

17 IVALOO STREET SUITE 400
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 TELEPHONE: 617-591-8682 FAX: 617-591-2086

CONSULTANTS:

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REGISTRATION



Project number 16108
 Date 07/21/2017
 Drawn by TMC
 Checked by JSK
 Scale

REVISIONS

No.	Description	Date

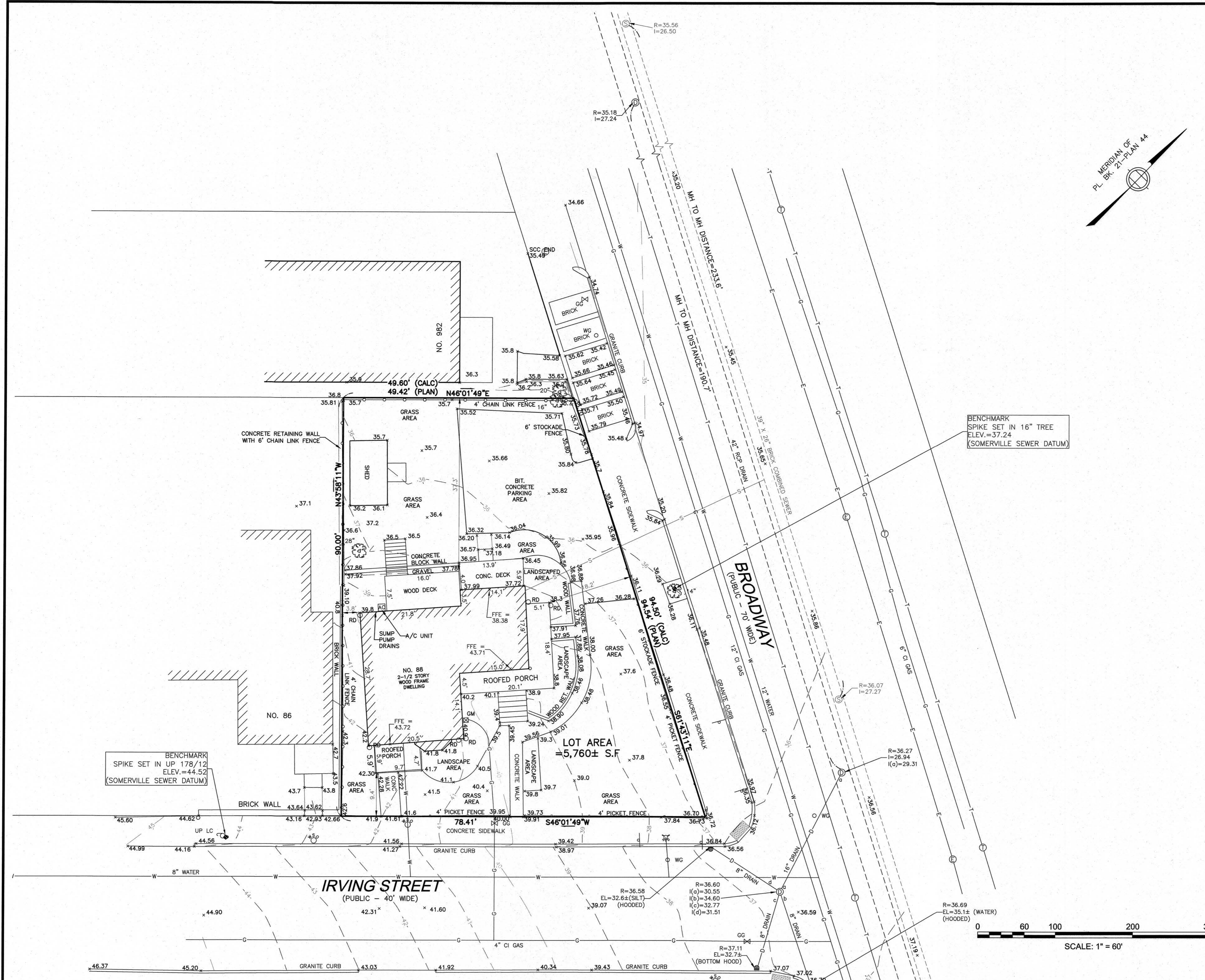
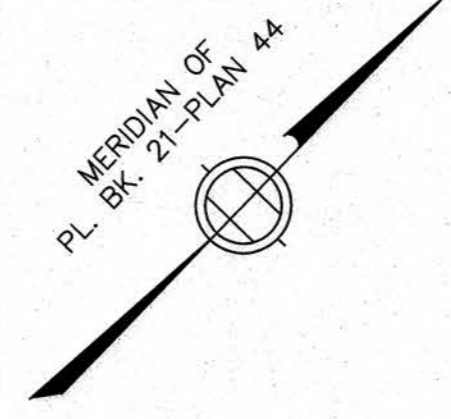
Cover Sheet

A-000

88 IRVING ST RESIDENCES

Drawing List		
Sheet Number	Sheet Name	Sheet Issue Date
A-000	Cover Sheet	07-21-2017
C-0	Existing Conditions Site Plan	05-12-2017
C-1.0	Civil Site Plan	07-19-2017
C-2.0	Details	07-19-2017
L-100	Landscape Plan	07-21-2017
A-020	Architectural Site Plan	07-21-2017
EX-100	Existing Conditions	07-21-2017
A-100	Basement & 1st Floor Plans	07-21-2017
A-101	2nd Floor & Attic Floor Plans/ Roof Plan	07-21-2017
A-300	East & North Exterior Elevations	07-21-2017
A-301	West & South Exterior Elevations	07-21-2017
AV-1	Perspectives	07-21-2017

- LEGEND**
- CS — COMBINED SEWER & DRAIN
 - S — SANITARY SEWER
 - D — DRAIN LINE
 - W — WATER LINE
 - E — ELECTRIC LINE
 - G — GAS LINE
 - T — TELEPHONE LINE
 - ⊙ — SANITARY MANHOLE
 - ⊕ — DRAIN MANHOLE
 - ⊕ — ELECTRIC MANHOLE
 - ⊕ — TELEPHONE MANHOLE
 - ⊕ — CATCH BASIN
 - ⊕ — DECIDUOUS TREE
 - ⊕ — FIRE HYDRANT
 - WG — WATER GATE
 - GG — GAS GATE
 - ⊕ GM — GAS METER
 - ⊕ — UTILITY POLE
 - RD — ROOF DRAIN
 - x 35.66 — SPOT GRADE



BENCHMARK
SPIKE SET IN 16" TREE
ELEV.=37.24
(SOMERVILLE SEWER DATUM)

BENCHMARK
SPIKE SET IN UP 178/12
ELEV.=44.52
(SOMERVILLE SEWER DATUM)

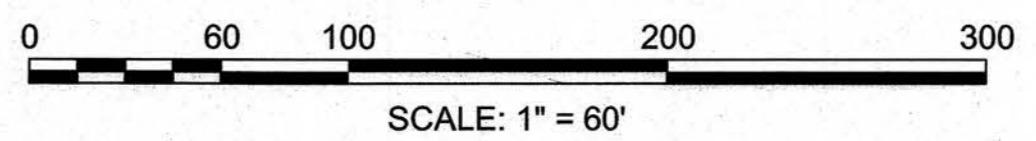
NOTES
THE PURPOSE OF THIS PLAN IS TO SHOW THE EXISTING CONDITIONS OF THE LOCUS PARCEL FOR DESIGN PURPOSES. THIS PLAN IS THE RESULT OF AN ON-THE-GROUND INSTRUMENT SURVEY PERFORMED BETWEEN JULY 30, 2015 AND MAY 10, 2017, BY DESIGN CONSULTANTS, INC. (DCI).

LOCATION OF UNDERGROUND UTILITIES FEATURES SHOWN ARE THE RESULT OF SURFACE EVIDENCE AS LOCATED BY: FIELD SURVEY, AERIAL PHOTOGRAMMETRY, PLANS OF RECORD, INFORMATION FURNISHED BY THE RESPECTIVE UTILITY COMPANIES, AND OTHER AVAILABLE SOURCES. OVERHEAD WIRES DEPICTED HEREON ARE SHOWN FOR GENERAL LOCATION PURPOSES ONLY. ACTUAL WIDTH, TYPE, NUMBER, AND HEIGHT SHOULD BE FIELD VERIFIED PRIOR TO ANY SITE DESIGN WORK. THIS PLAN DOES NOT NECESSARILY DEPICT THE EXACT LOCATION OF ALL UTILITIES WHICH MAY EXIST AT THIS TIME WITHIN THE PREMISES SURVEYED. CALL DIGSAFE PRIOR TO EXCAVATION.



P.L.S. *Brian B. Donegan*
BRIAN B. DONEGAN, P.L.S. MASS. REGISTRATION NO. 47592
DATE *May 30, 2017*

LOCUS TITLE INFORMATION
88 IRVING STREET
OWNER: 88 IRVING LLC
DEED REFERENCE: BK. 65420 PG. 563
PLAN REFERENCE: PLAN BOOK 21, PLAN 44 (LOT 56)
ASSESSORS: MAP 16 BLOCK A LOT 27



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P:\2015 Projects\2015-044 88 Irving St Somerville\Draw\SURVEYING\15-044 EC.dwg

Design Consultants, Inc.
CIVIL ENGINEERS and LAND SURVEYORS
120 MIDDLESEX AVENUE
SOMERVILLE, MA 02145
617-776-3350

68 PLEASANT STREET
NEWBURYPORT, MA 01950
978-358-7173

SCALE:			
HORIZ: 1" = 10'			
VERT: _____			
NO.	DATE	BY	REVISIONS

FIELD: EC/LG
CALCS: BD
CHECKED: ML
APPROVED: BD

EXISTING CONDITIONS PLAN
88 IRVING STREET

PLAN OF LAND IN
SOMERVILLE, MASSACHUSETTS
SURVEYED FOR
GFC DEVELOPMENT

PROJECT NO.
2015-044
DATE: MAY 12, 2017
SHEET NO.
1 OF 1

GENERAL NOTES

ALL WORK PERFORMED AS PART OF THIS PROJECT SHALL CONFORM TO THE STANDARDS OF THE CITY OF SOMERVILLE, DEPT. OF PUBLIC WORKS AND ANY OTHER AGENCY WITH AUTHORITY IN THIS AREA.

CONTRACTOR TO MAINTAIN WORK AREA IN A CLEAN CONDITION. NO CONSTRUCTION DEBRIS SHALL BE ALLOWED TO ACCUMULATE WITHIN THE WORKSITE AND NO DIRT, GRAVEL, ETC. SHALL BE ALLOWED TO ACCUMULATE ON THE PUBLIC RIGHT-OF-WAY.

AREAS OUTSIDE THE LIMITS OF PROPOSED WORK DISTURBED BY THE CONTRACTOR'S OPERATIONS SHALL BE RESTORED BY THE CONTRACTOR TO THEIR ORIGINAL CONDITION AT THE CONTRACTOR'S EXPENSE.

UTILITY & DRAINAGE NOTES

- 1. THE LOCATION OF AND SIZE OF BURIED UTILITIES ARE THE RESULT OF SURFACE EVIDENCE AS LOCATED BY FIELD SURVEY BY DESIGN CONSULTANTS INC., PLANS OF RECORD & PLANS FROM RESPECTIVE UTILITY COMPANIES.
- 2. THIS PLAN DOES NOT NECESSARILY DEPICT THE EXACT LOCATION AND SIZE OF ALL UTILITIES WHICH MAY EXIST AT THIS TIME INSIDE OR OUTSIDE OF EXISTING OR PROPOSED BUILDINGS, ON THE SUBJECT PROPERTY, WITHIN THE STREET ROW, OR ON ABUTTING LOTS.
- 3. CONTACT DIG-SAFE AT 1-888-344-7233 OR 1-800-322-4844 AT LEAST 72 HOURS PRIOR TO EXCAVATION. THE CITY OF SOMERVILLE MUNICIPAL UTILITIES (WATER, SEWER, & DRAIN) ARE PART OF DIG-SAFE. CONTACT THE CITY OF SOMERVILLE FOR THE MARKING OF SOMERVILLE MUNICIPAL UTILITIES.
- 4. THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES SHOWN ARE APPROXIMATE AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL FIELD VERIFY THE SIZE AND EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.
- 5. ALL EXISTING UTILITY SERVICE CONNECTIONS SHALL BE ABANDONED UNLESS NOTED OTHERWISE. CUTTING AND CAPPING OF DESIGNATED WATER AND SEWER SERVICES SHALL OCCUR AT THE MAIN IN THE STREET, BY THE CONTRACTOR, IN ACCORDANCE WITH THE CITY OF SOMERVILLE STANDARDS. THE PROPOSED GAS, ELECTRIC AND/OR CATV INSTALLATION AND ABANDONMENT OF EXISTING CONNECTIONS SHALL BE COORDINATED BY THE CONTRACTOR WITH THE RESPECTIVE COMPANIES.
- 6. FINAL DEMARCATION POINTS FOR GAS, ELECTRIC, TELEPHONE, AND COMMUNICATION SERVICE ENTRANCES ARE SUBJECT TO APPROVALS OF EACH PROVIDER.
- 7. ALL UTILITIES SHOWN ON THIS SITE ARE TO THE EXTERIOR OF THE BUILDING FOUNDATION ONLY. UTILITIES THROUGH THE FOUNDATION AND INSIDE THE BUILDING ARE THE RESPONSIBILITY OF THE MECHANICAL ENGINEER. SEE MECHANICAL ENGINEERING PLANS.
- 8. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING AND RECORDING THE EXACT LOCATION OF ALL PROPOSED UTILITY CONNECTIONS.
- 9. NEW WATER SERVICES MUST BE LEFT SHUT OFF AT THE MAIN ON THE STREET UNTIL ACTIVATED BY CITY OF SOMERVILLE.
- 10. TEST PITS SHALL BE REQUIRED TO DETERMINE SUBSURFACE SOILS AND ESTABLISH MEAN HIGH GROUNDWATER ELEVATION PRIOR TO ORDERING AND INSTALLATION OF STORMWATER MANAGEMENT SYSTEM COMPONENTS. ADJUSTMENTS TO SYSTEM MAY BE REQUIRED PER TEST RESULTS.
- 11. THE CONTRACTOR SHALL SUPPLY ALL PIPING FOR THE UTILITY SERVICES AND SHALL SUPPLY ALL ASSOCIATED APPURTENANCES, FITTING AND VALVES UNLESS NOTED OTHERWISE. THE CONTRACTOR SHALL PERFORM ALL WET AND DRY TAPS AS PART OF HIS/HER CONTRACT.
- 12. CITY OF SOMERVILLE RESERVES THE RIGHT TO INSPECT ALL FACILITIES DISCHARGING TO THE CITY OF SOMERVILLE DRAIN AND SEWER SYSTEMS. A DYE TEST SHALL BE PERFORMED PRIOR TO THE ISSUANCE OF AN OCCUPANCY PERMIT.
- 13. PRIOR TO CONSTRUCTION OF NEW SANITARY SEWER AND STORM DRAIN LINES, CONTRACTOR SHALL PERFORM TEST PITS AT LOCATIONS OF EXISTING LATERAL CONNECTIONS FOR SANITARY SEWER AND STORM DRAINS TO CONFIRM INVERTS OF LATERALS. ANY DISCREPANCIES ARE TO BE REPORTED TO THE ENGINEER IMMEDIATELY.
- 14. WHERE AN EXISTING UTILITY IS FOUND TO CONFLICT WITH THE PROPOSED WORK, THE LOCATION, ELEVATION AND SIZE OF THE UTILITY SHALL BE ACCURATELY DETERMINED WITHOUT DELAY BY THE CONTRACTOR, AND THE INFORMATION SHALL BE FURNISHED TO THE ENGINEER FOR RESOLUTION OF THE CONFLICT.
- 15. TRENCH AREAS FOR THE CONSTRUCTION OF THE UNDERGROUND UTILITIES ARE TO BE REPATCHED WITH SAME MATERIAL AT THE SAME DEPTH AS THE EXISTING MATERIAL. THE AREAS OF TRENCHING SHALL BE NEATLY SAW-CUT AND THE NEW PATCHING MATERIAL SHALL BE PROPERLY SEALED IN ACCORDANCE WITH THE CITY OF SOMERVILLE MUNICIPAL STANDARDS.
- 16. DURING EXCAVATION AND CONSTRUCTION OF PIPES AND STRUCTURES, TRENCHES MUST BE ADEQUATELY BRACED AND PROTECTED AGAINST CAVE-IN.
- 17. NO TRENCHES ARE ALLOWED TO REMAIN OPEN OVERNIGHT. ALL TRENCHES SHALL BE BACKFILLED AT THE END OF THE WORK DAY OR COVERED WITH STEEL PLATES PER 520 CMR 14.00 EXCAVATION AND TRENCH SAFETY. IF STEEL PLATES ARE USED, THE TOTAL LENGTH OF PLATES IN THE TRAVELED WAY SHALL LIMITED TO 50'.

PIPE MATERIALS:

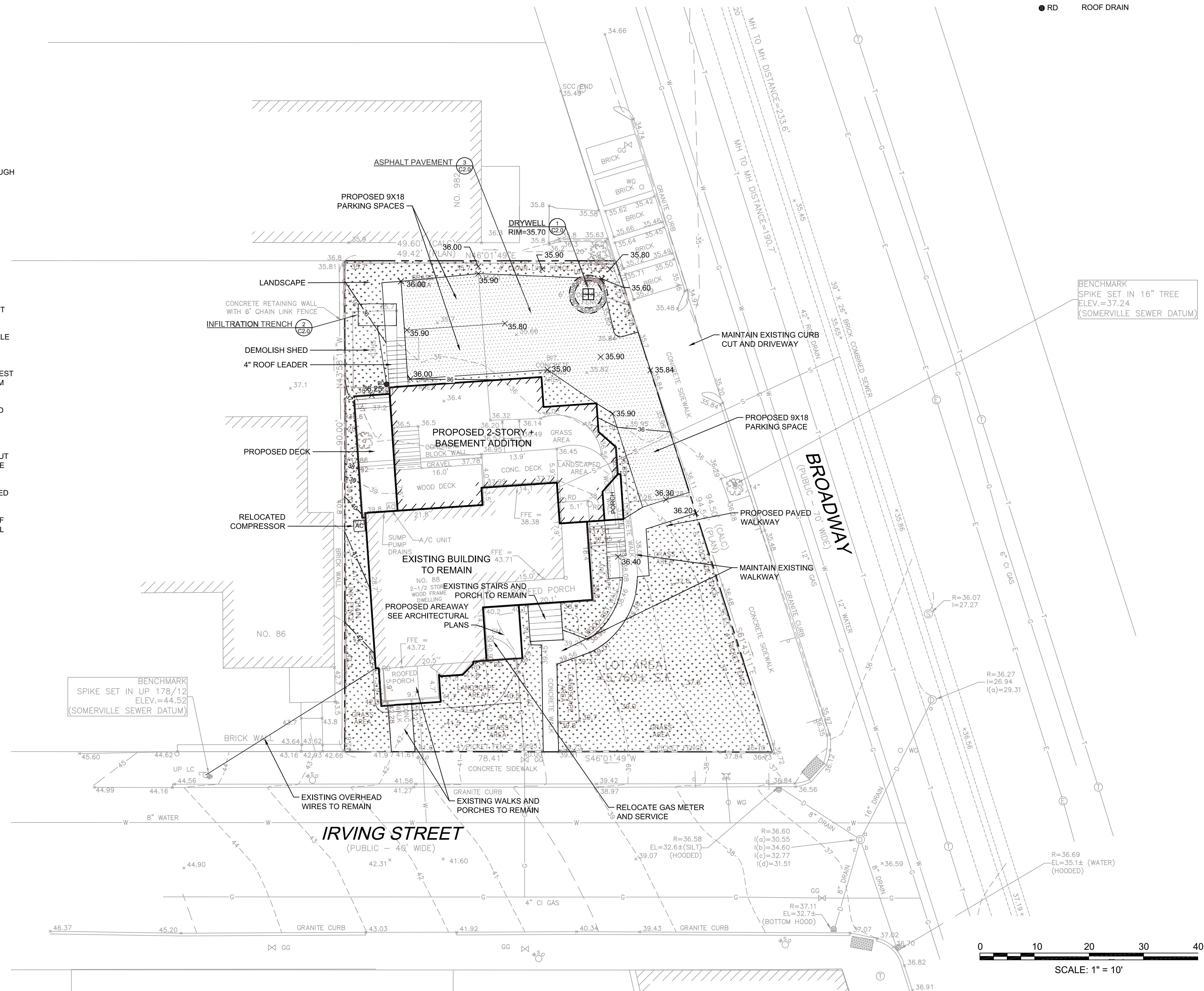
ALL EXISTING UTILITIES TO REMAIN
ROOF LEADER: 4" SCHEDULE 40. SLOPE AT 1% MINIMUM.

LOCUS TITLE INFORMATION

88 IRVING STREET
OWNER: 88 IRVING LLC
DEED REFERENCE: BK. 65420 PG. 563
PLAN REFERENCE: PLAN BOOK 21, PLAN 44 (LOT 56)
ASSESSORS: MAP 16 BLOCK A LOT 27

LEGEND

EXISTING:
CS - COMBINED SEWER & DRAIN
S - SANITARY SEWER
D - DRAIN LINE
W - WATER LINE
OHW - ELECTRIC LINE
G - GAS LINE
T - TELEPHONE LINE
ST - STEAM LINE
SM - SANITARY MANHOLE
DM - DRAIN MANHOLE
UM - UNKNOWN MANHOLE
EM - ELECTRIC MANHOLE
TM - TELEPHONE MANHOLE
CATCH BASIN
DECIDUOUS TREE
CONIFEROUS TREE
PLANTER
FIRE HYDRANT
WATER GATE
GAS GATE
WASTE BASKET
PARKING METER
MAIL BOX
TRAFFIC SIGNAL
UTILITY POLE
SPOT GRADE
WATER GATE
GAS GATE
TEST PIT
STOCKADE
SEWER LINE
GAS LINE
DOMESTIC WATER LINE
FIRE SUPPRESSION LINE
ELECTRIC, TEL. & CABLE LINE
DRAIN LINE
SPOT GRADE
CONTOUR
TOP OF CURB, BOTTOM OF CURB
TOP OF WALL, BOTTOM OF WALL
INSPECTION PORT
ROOF DRAIN



NORTH

DEVELOPER:
GFC DEVELOPMENT
PO BOX 261
WESTON, MA 02493
978-265-4364

ARCHITECT:
KHALSA DESIGN INC.
17 IVALOO STREET SUITE 400
SOMERVILLE, MA 02143
617-591-8682

PROJECT TEAM

**88 IRVING ST
RESIDENCES
2.5 STORY ADDITION
88 IRVING STREET
SOMERVILLE, MA
PROJECT INFO**

REV	DESCRIPTION	DATE

STAMP:

CIVIL SITE PLAN

SHEET NAME:

C1.0

SHT NO:
DR BY: RLB
CHK BY: SBS
PROJ NO: 2015-044
DATE: JULY 19, 2017
SCALE: 1" = 10'

ZONING DIMENSIONAL TABLE:

ZONE	ALLOWED / REQUIRED	EXISTING	PROPOSED	COMPLIANCE
USE	Single Family 2 Family	Single Family Dwelling	2 Family Dwelling	COMPLIES
MIN LOT SIZE	10,000 S.F.	5,760 S.F. +/-	5,760 S.F. +/-	PRE.-EXIST/ NO CHANGE
MIN LOT PER DWELLING	2,250 S.F./ DU (1-9 DU)	5,760 S.F./ DU (1 DU)	2,880 S.F./ DU (2 DU)	COMPLIES
MAX GROUND COVERAGE	50% / 2,880 S.F.	23% / 1,314 S.F.	33% / 1,910 S.F.	COMPLIES
LANDSCAPE AREA	25% / 1,440 S.F.	54% / 3,114 S.F.	36% / 2,077 S.F.	COMPLIES
MAX FLOOR AREA RATIO (FAR)	0.75 / 4,320 S.F.	0.44 / 2,516 S.F.	0.71 / 4,078 S.F.	COMPLIES
MAX BUILDING HEIGHT	2 1/2 ST/ 35'	2 1/2 ST/ 27'-5"	2 1/2 ST/ 27'-5"	COMPLIES/ NO CHANGE
MIN. YARD SETBACKS				
FRONT	15' or street average	9.0'	9.0'	PRE.-EXIST/ NO CHANGE
LEFT SIDE	8'-0" SUM 17'-0"	3.8'	3.8'	PRE.-EXIST/ NO CHANGE
RIGHT SIDE	8'-0" SUM 17'-0"	18.1'	10.3'	COMPLIES
REAR	18' 9" (Section 8.6.13)	34.8'	21.3'	COMPLIES

Section 8.6: 13. Reduction of rear yards for shallow lots: For each foot by which a lot is less than one hundred (100) feet deep on the effective date of this Ordinance, three (3) inches may be deducted from the required depth of the rear yard, provided that no rear yard shall be less than ten (10) feet.
 $20' - 0'' \text{ Requirement} / 100' - 95' = 5'; 5' \times 3'' = 15'' (1' - 3'') > 20' - 1' - 3'' = 18' - 9''$

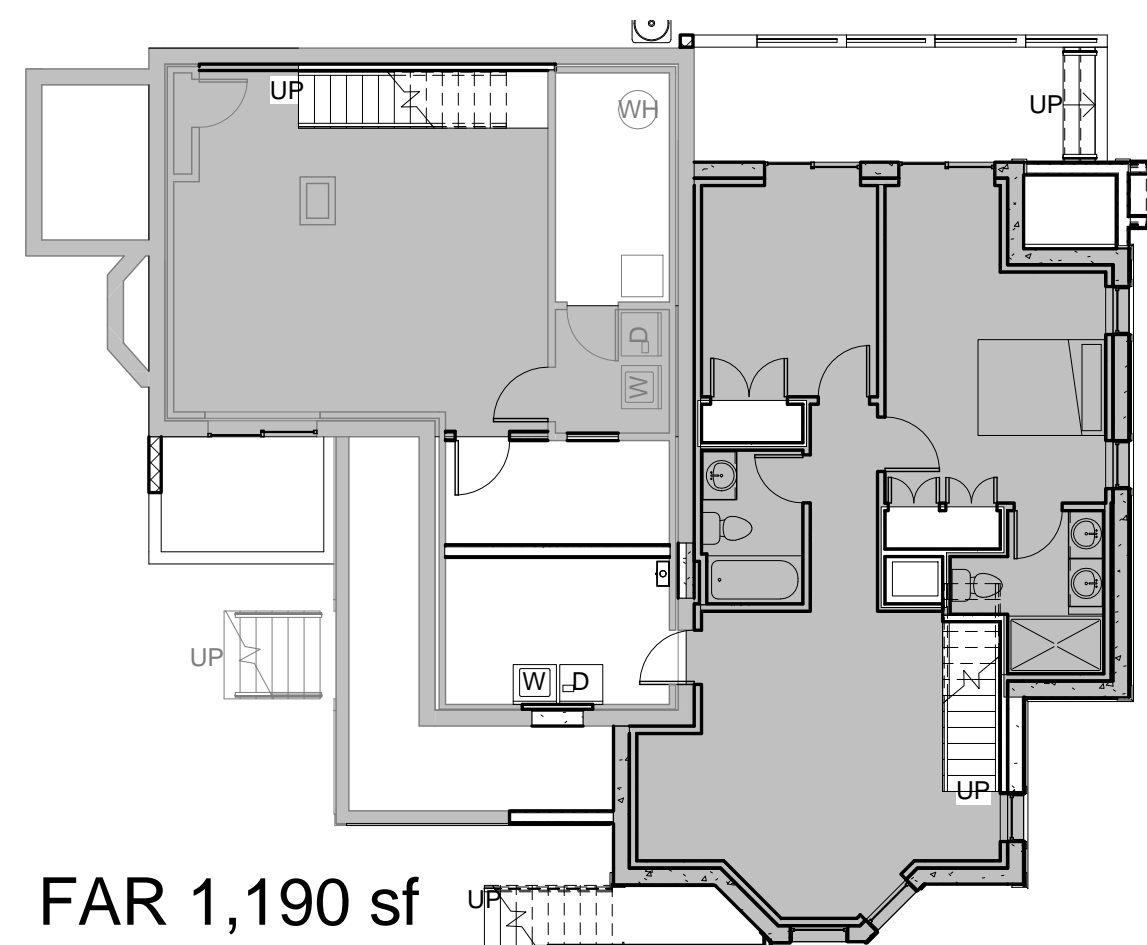
MIN FRONTAGE	50'	78.41'	78.41'	COMPLIES / NO CHANGE
PERVIOUS AREA, MIN % OF LOT	35% / 2,016 S.F.	54% / 3,114 S.F.	36% / 2,077 S.F.	COMPLIES
PARKING REQUIREMENTS	1.5/ DU W/ 1 OR 2 BEDROOMS 2.0/ DU W/ 3+ BEDROOMS	1 SPACE	3 SPACES	COMPLIES
EXISTING REQ.	Unit 1 - 1.5 Spaces Total - 1.5 Spaces			
PROPOSED REQ.	See Section 9.5.2 1 Parking Space per additional each newly created Dwelling Unit			

Section 9.5. - Number of Parking Spaces. 2.)Special Residential Conversions:

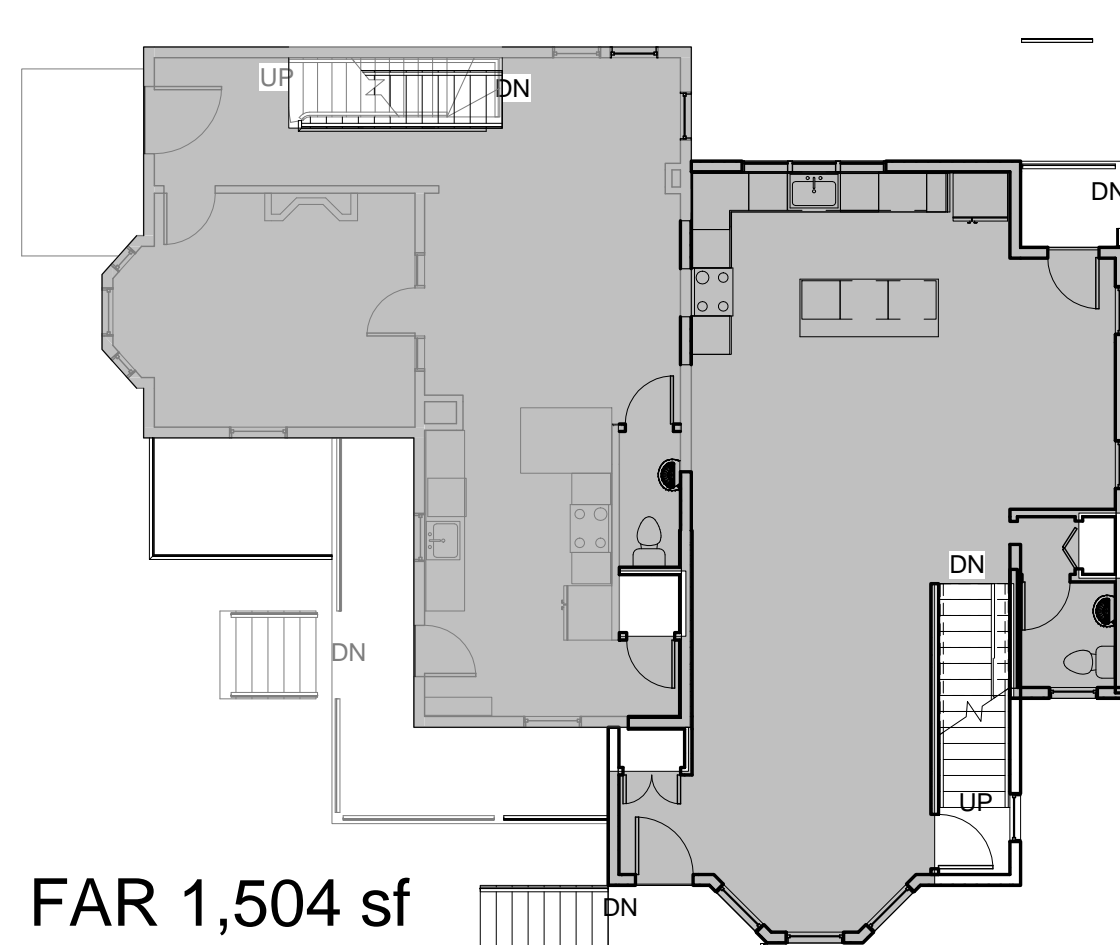
a. Existing 1 and 2 family residences converting to 2 or 3 family residences shall provide one (1) parking space per additional (e.g. newly created) dwelling unit. Also note that the provisions of Section 9.4 as to nonconformity with respect to parking are likely to apply in many instances.
 EXAMPLE: A single family home is converting to a 2 family residence. One (1) space is required for each new dwelling unit created in the conversion. If the single-family home is converting to a 3 family residence, then two (2) parking spaces are required for the conversion — one (1) for each new unit. Note that this is the parking required for the newly converted unit(s) and is additional parking above what is required for the existing site. However, if the existing lot is nonconforming with respect to parking, then please refer to the special considerations under Section 9.4.1.

GROSS FLOOR AREA BUILDING CALCULATION			
	EXISTING	PROPOSED CHANGE	PROPOSED TOTAL
BASEMENT	836 SF	+789 SF	1,625 SF
FIRST FL	857 SF	+793 SF	1,650 SF
SECOND FL	800 SF	+683 SF	1,483 SF
THIRD FL	800 SF	-269 SF	531 SF
TOTAL	3,293 SF	+1,996 SF	5,289 SF
1,996 SF / 3,293 SF = 60% INCREASE IN GROSS FLOOR AREA PROPOSED			

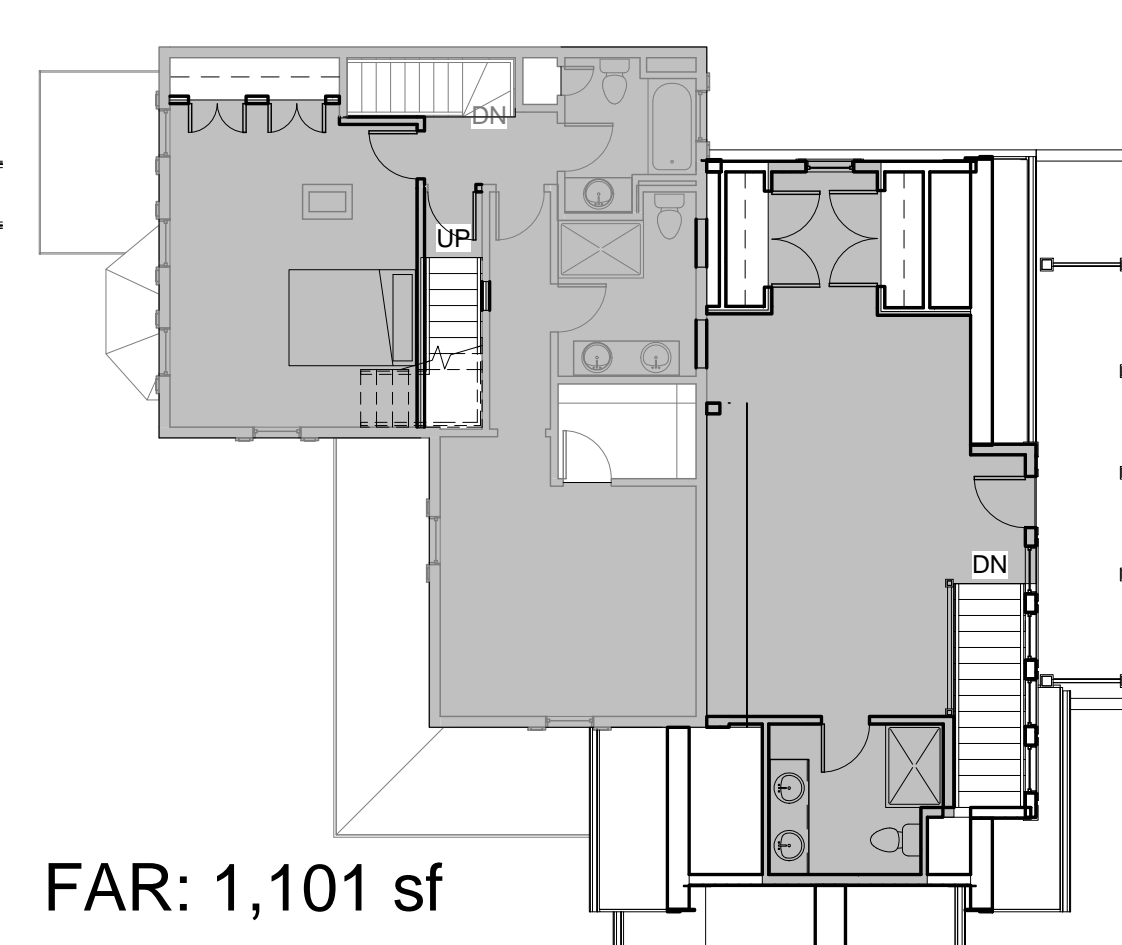
FAR BUILDING CALCULATION			
LOT SIZE: 5,760 +/- SF			
	EXISTING	PROPOSED CHANGE	PROPOSED TOTAL
BASEMENT	685 SF	+505 SF	1,190 SF
FIRST FL	770 SF	+734 SF	1,504 SF
SECOND FL	678 SF	+423 SF	1,101 SF
THIRD FL	313 SF	-30 SF	283 SF
TOTAL	2,446 SF/ 0.43 FAR	+1,632	4,078 SF/ 0.71 FAR



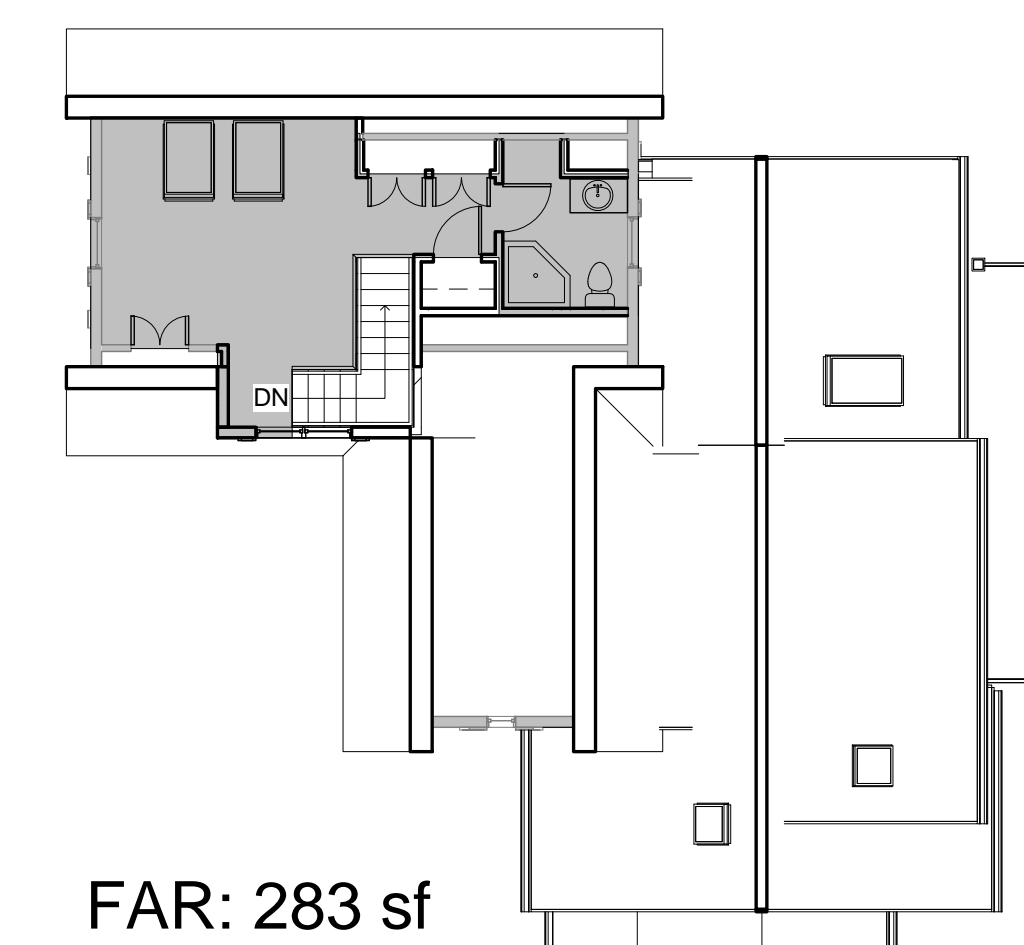
4 Basement - FAR
1" = 10'-0"



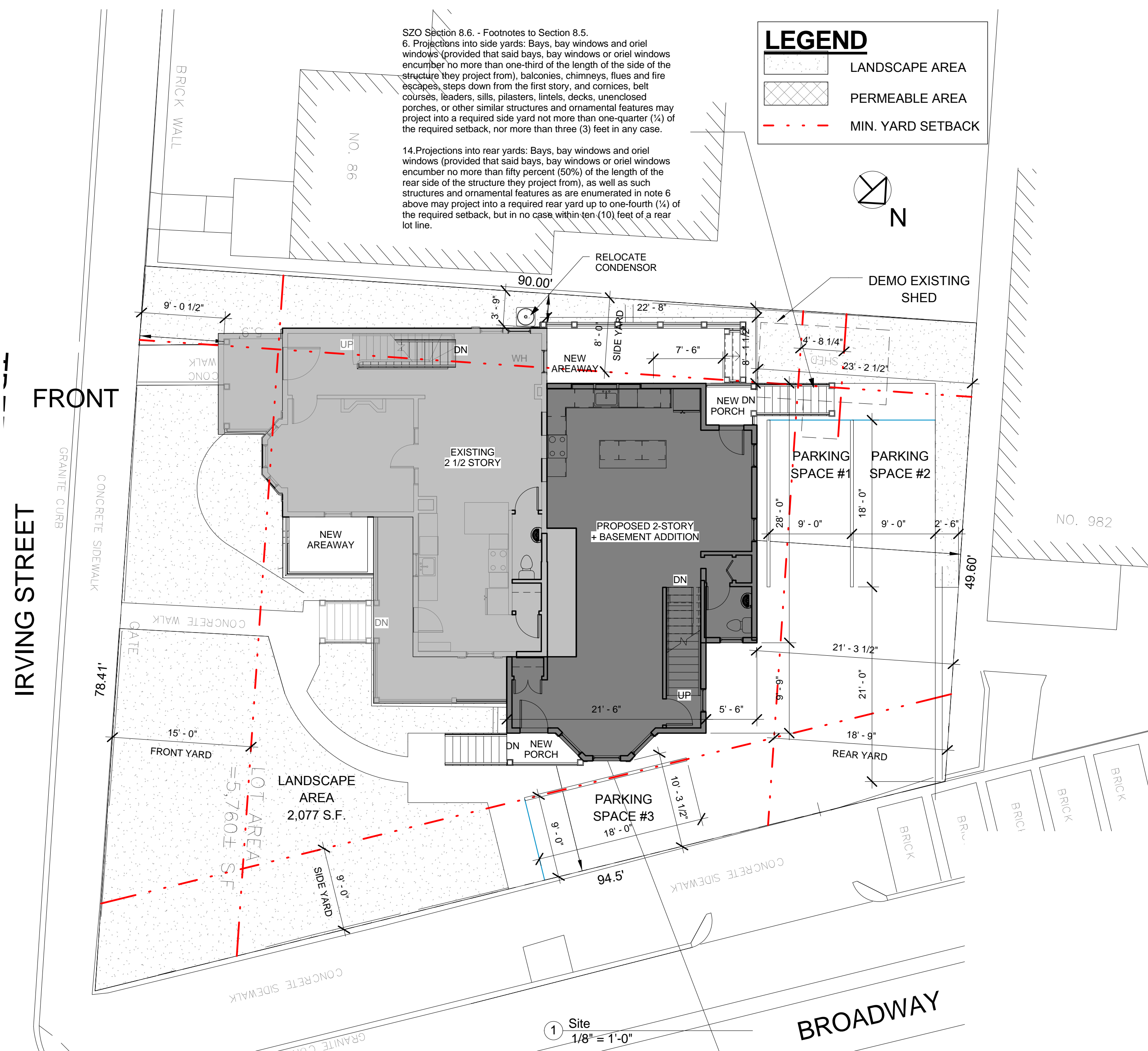
5 1st Floor - FAR
1" = 10'-0"



6 2nd Floor - FAR
1" = 10'-0"



7 3rd Floor FAR
1" = 10'-0"



PROJECT NAME
88 IRVING ST RESIDENCES

PROJECT ADDRESS
 88 IRVING STREET
 SOMERVILLE, MA

CLIENT
 GFC DEVELOPMENT

ARCHITECT

 17 VALOO STREET SUITE 400
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 TELEPHONE: 617-591-8682 FAX: 617-591-2086

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 PROSECUTION UNDER LAW

REGISTRATION

 Project number 16108
 Date 07/21/2017
 Drawn by TMC
 Checked by JSK
 Scale As indicated

No.	Description	Date

Architectural Site Plan

A-020

88 IRVING ST RESIDENCES

PROJECT NAME

88 IRVING ST RESIDENCES

PROJECT ADDRESS

88 IRVING STREET
SOMERVILLE, MA

CLIENT

GFC DEVELOPMENT

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17 IVALOO STREET SUITE 400
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REGISTRATION



Project number	16108
Date	07/21/2017
Drawn by	Author
Checked by	Checker
Scale	1/8" = 1'-0"

REVISIONS

No.	Description	Date

Landscape Plan

L-100

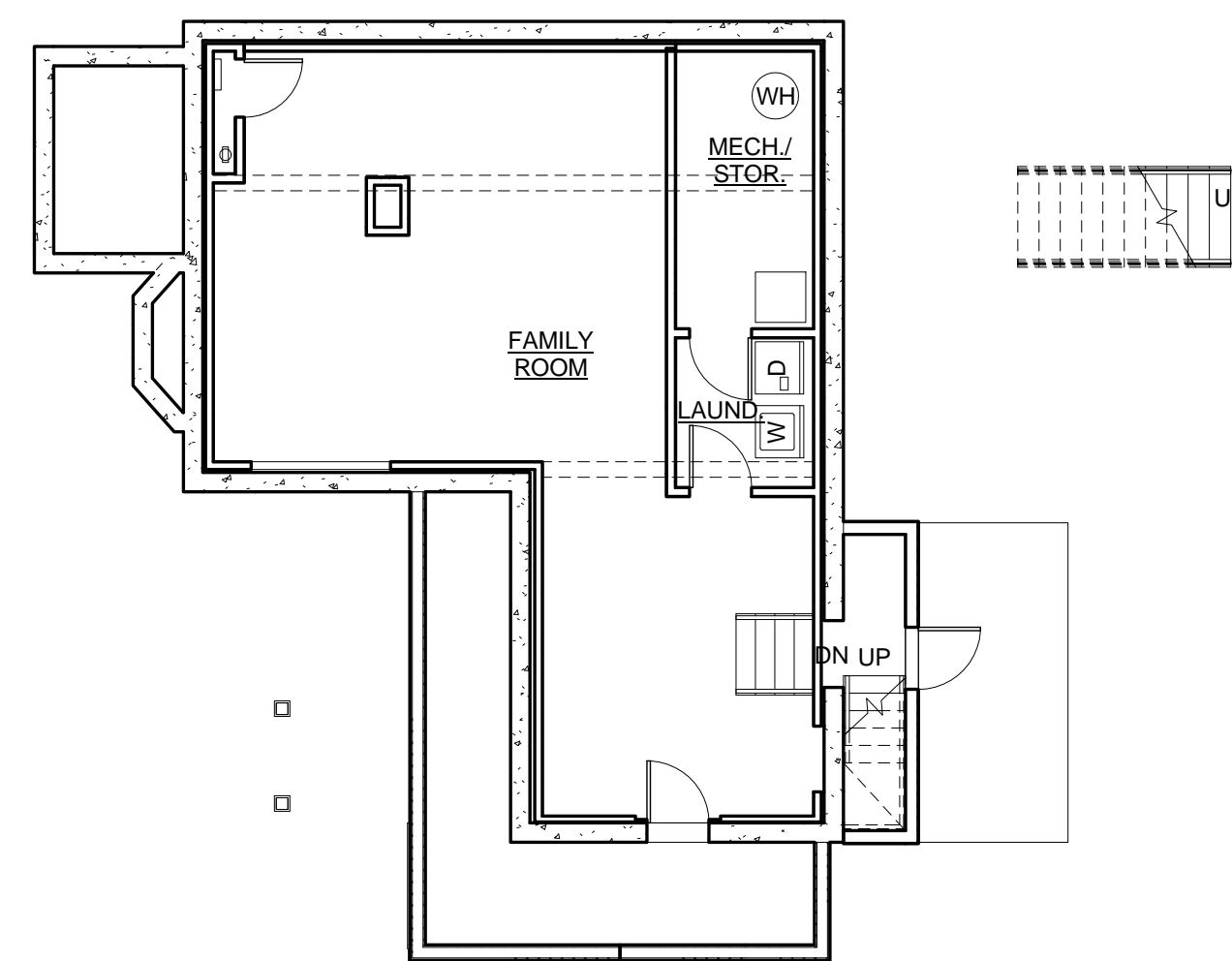
88 IRVING ST RESIDENCES



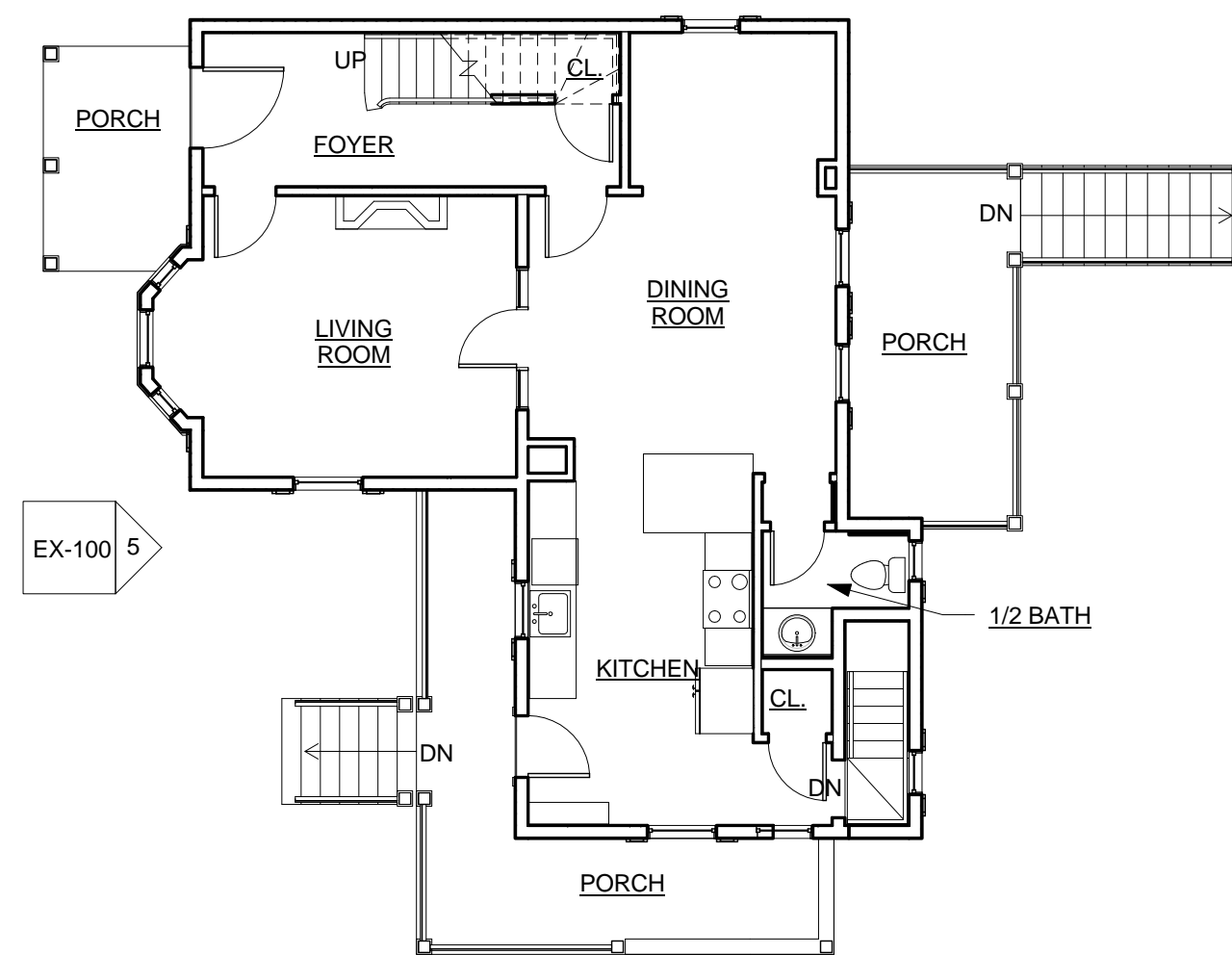
- Proposed Plantings
 A1 - Pjm Rhododendron
 A2 - Knockout Rose
 A3- Forester Reed Grass
- Existing Plant Material
 B1 - Pjm Rhododendron
 B2 - Abierta Spruce
 B3 - Blue Juniper
 B4 - Dwarf Emerald Green Arborvitae
 B5 - Hybrid Rose

1 Landscape Plan
1/8" = 1'-0"

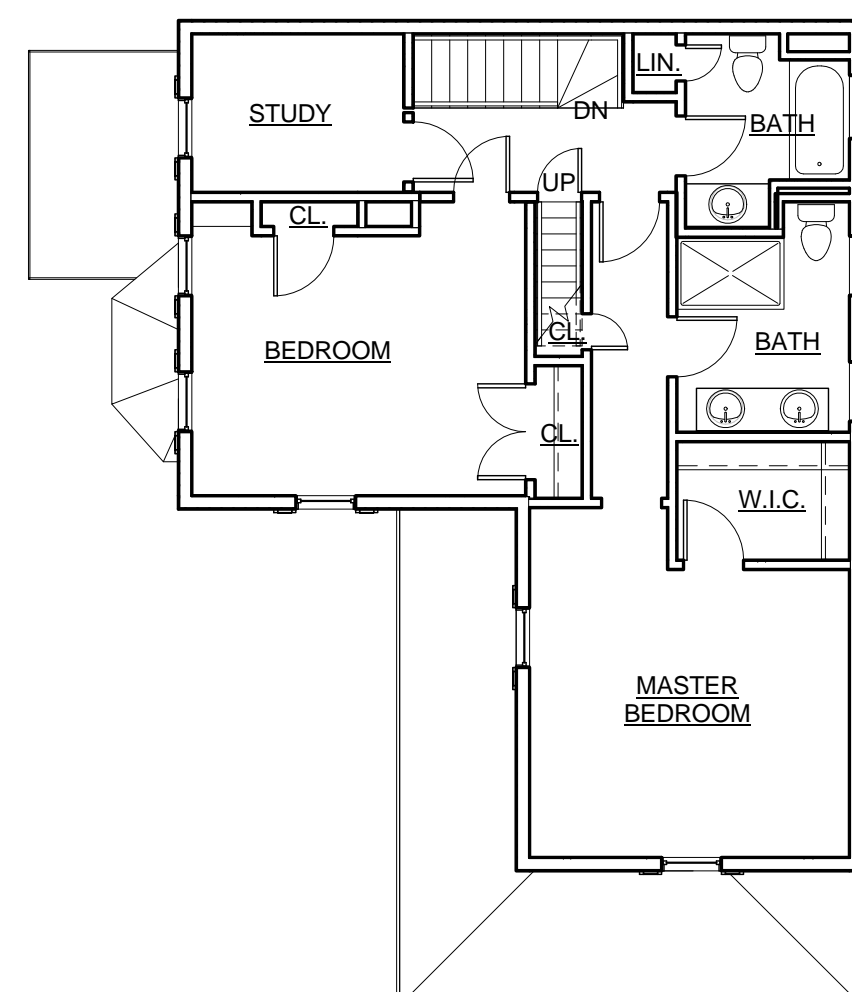
\\TKG-Server\Drawings\03 Drawings\03 ARCH_SD_DD2017.07.18_16108_GFC_88 Irving_6th iteration-b.rvt 7/21/2017 12:27:17 PM



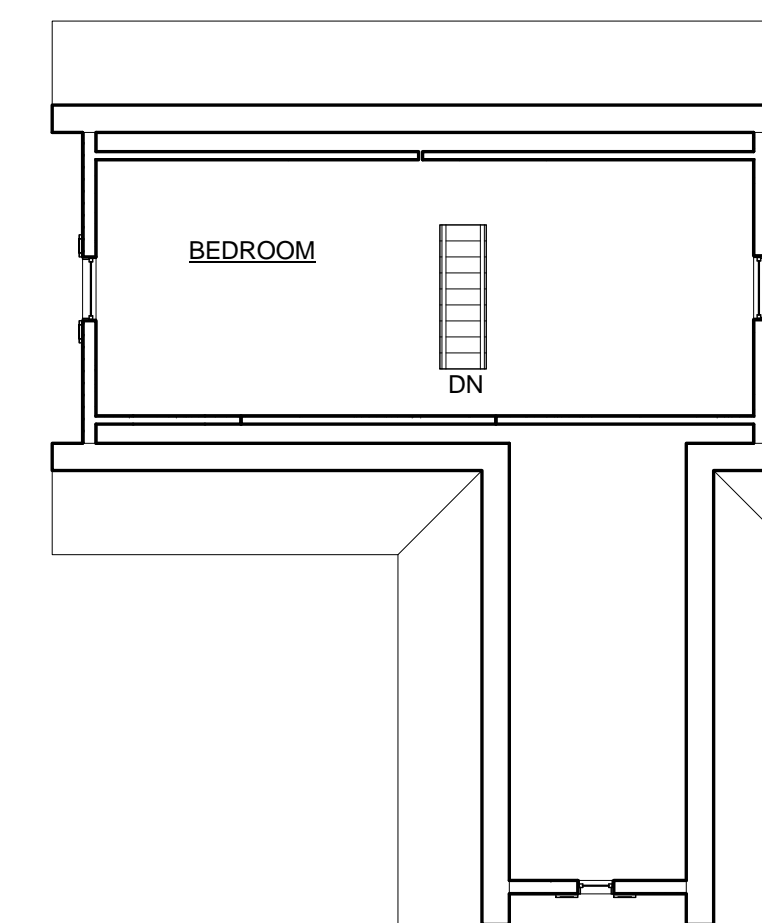
1 Existing Basement Level
1/8" = 1'-0"



2 Existing 1st Floor Level
1/8" = 1'-0"



3 Existing 2nd Floor Level
1/8" = 1'-0"



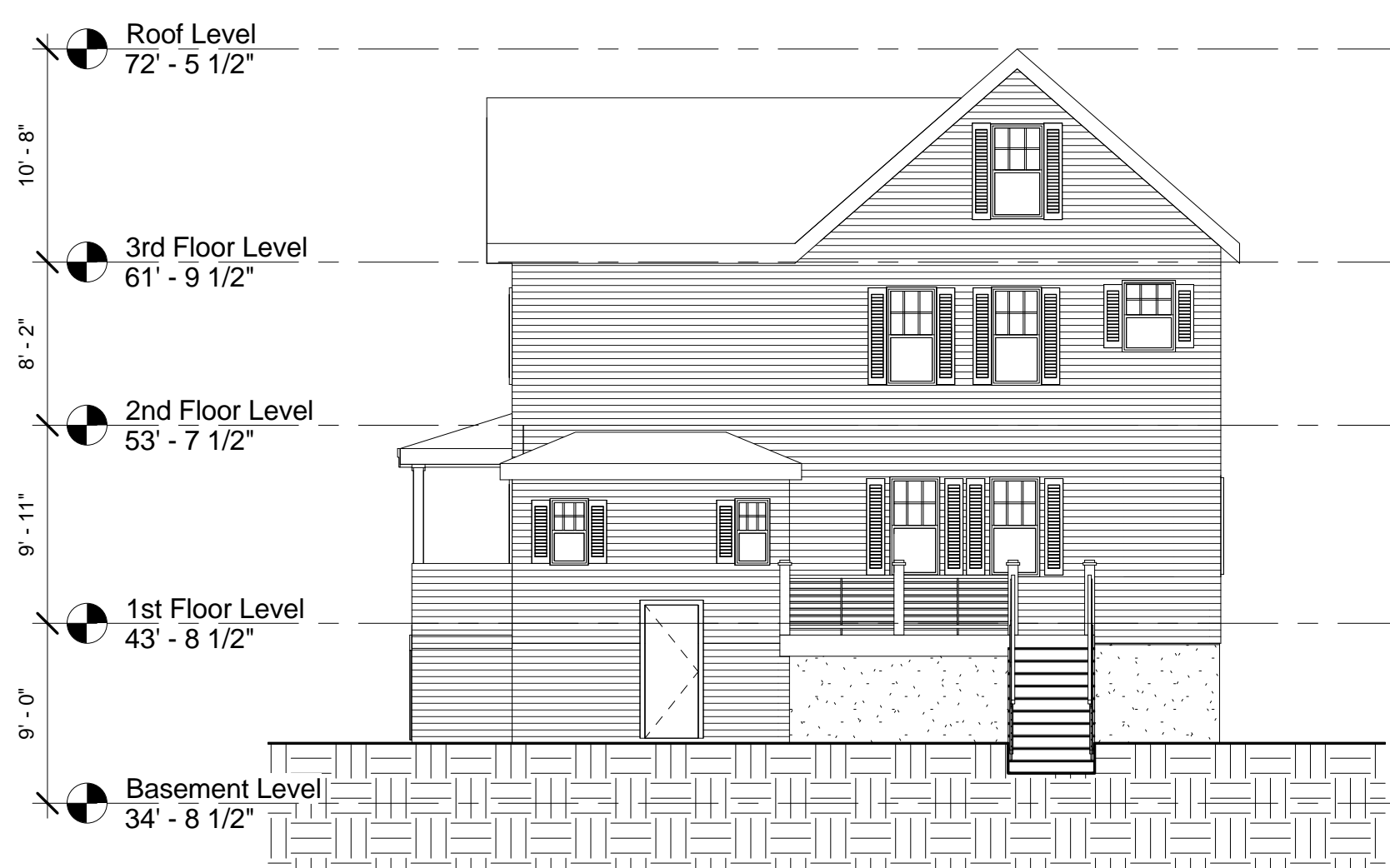
4 Existing 3rd Floor Level
1/8" = 1'-0"



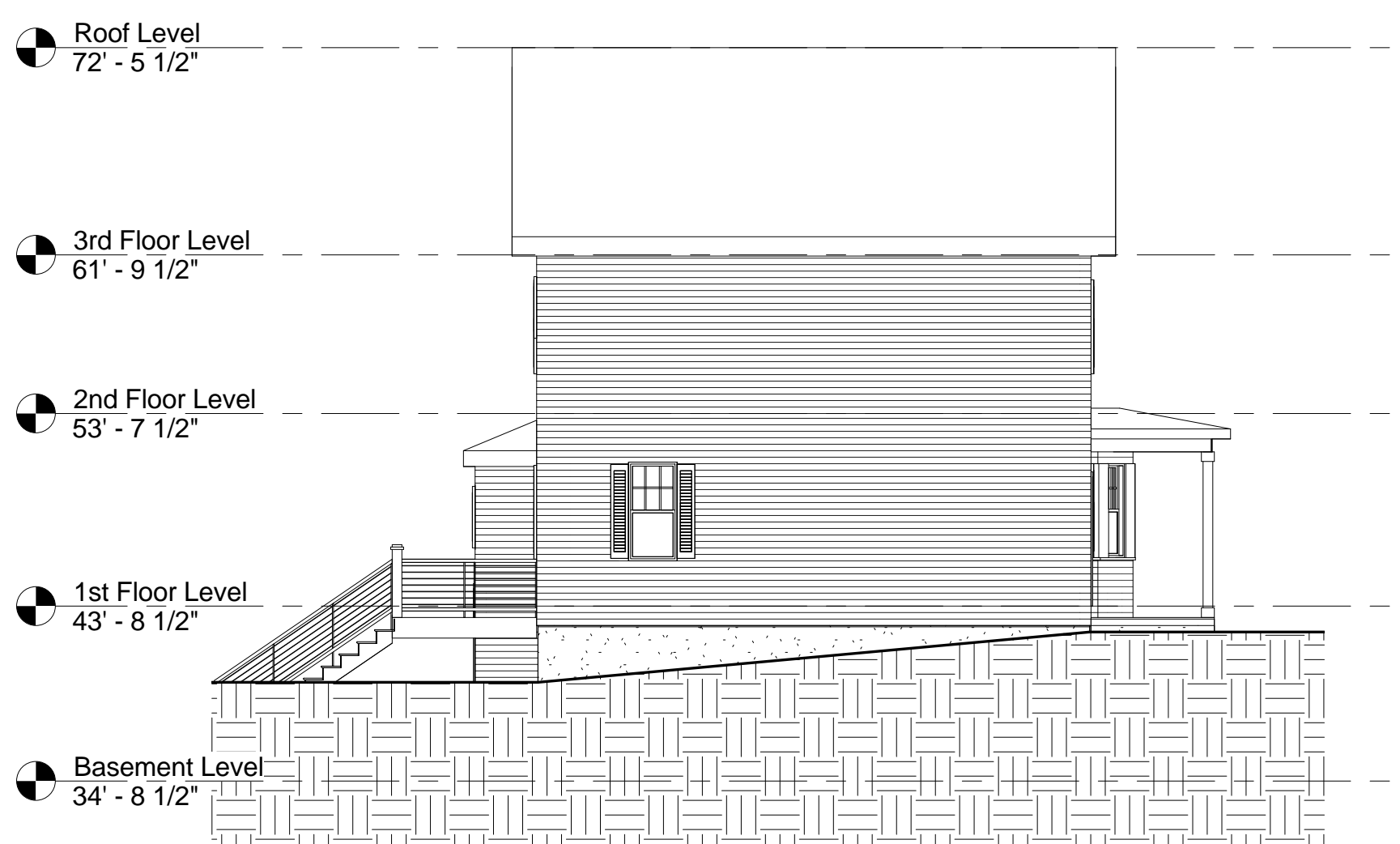
5 Existing East Elevation
1/8" = 1'-0"



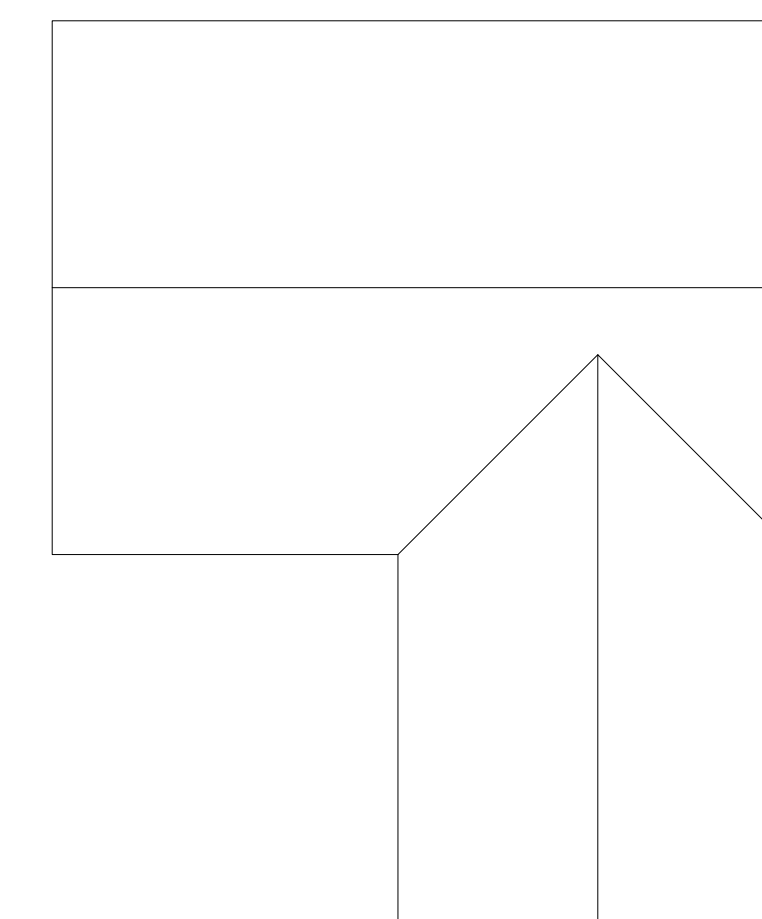
6 Existing North Elevation
1/8" = 1'-0"



7 Existing West Elevation
1/8" = 1'-0"



8 Existing South Elevation
1/8" = 1'-0"



9 Existing Roof Level
1/8" = 1'-0"

PROJECT NAME

**88 IRVING ST
RESIDENCES**

PROJECT ADDRESS

88 IRVING STREET
SOMERVILLE, MA

CLIENT

GFC DEVELOPMENT

ARCHITECT



KHALSA

17 IVALOO STREET SUITE 400
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TELEPHONE: 617-591-8682 FAX: 617-591-2086

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REGISTRATION



Project number	16108
Date	07/21/2017
Drawn by	Author
Checked by	Checker
Scale	1/8" = 1'-0"

REVISIONS

No.	Description	Date

Existing Conditions

EX-100

88 IRVING ST RESIDENCES

PROJECT NAME
88 IRVING ST RESIDENCES

PROJECT ADDRESS
 88 IRVING STREET
 SOMERVILLE, MA

CLIENT
GFC DEVELOPMENT

UNIT AREA TABULATION		
	UNIT 1	UNIT 2
BASEMENT	753 SF	977 SF
FIRST FL	804 SF	846 SF
SECOND FL	791 SF	555 SF
ATTIC	356 SF	N/A
TOTAL	2,704 SF	2,378 SF

*AREA CALCULATIONS INCLUDE ALL UNFINISHED STORAGE ROOMS, CLOSETS AND STAIRS



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REGISTRATION



Project number	16108
Date	07/21/2017
Drawn by	TMC / CMH
Checked by	JSK
Scale	1/4" = 1'-0"

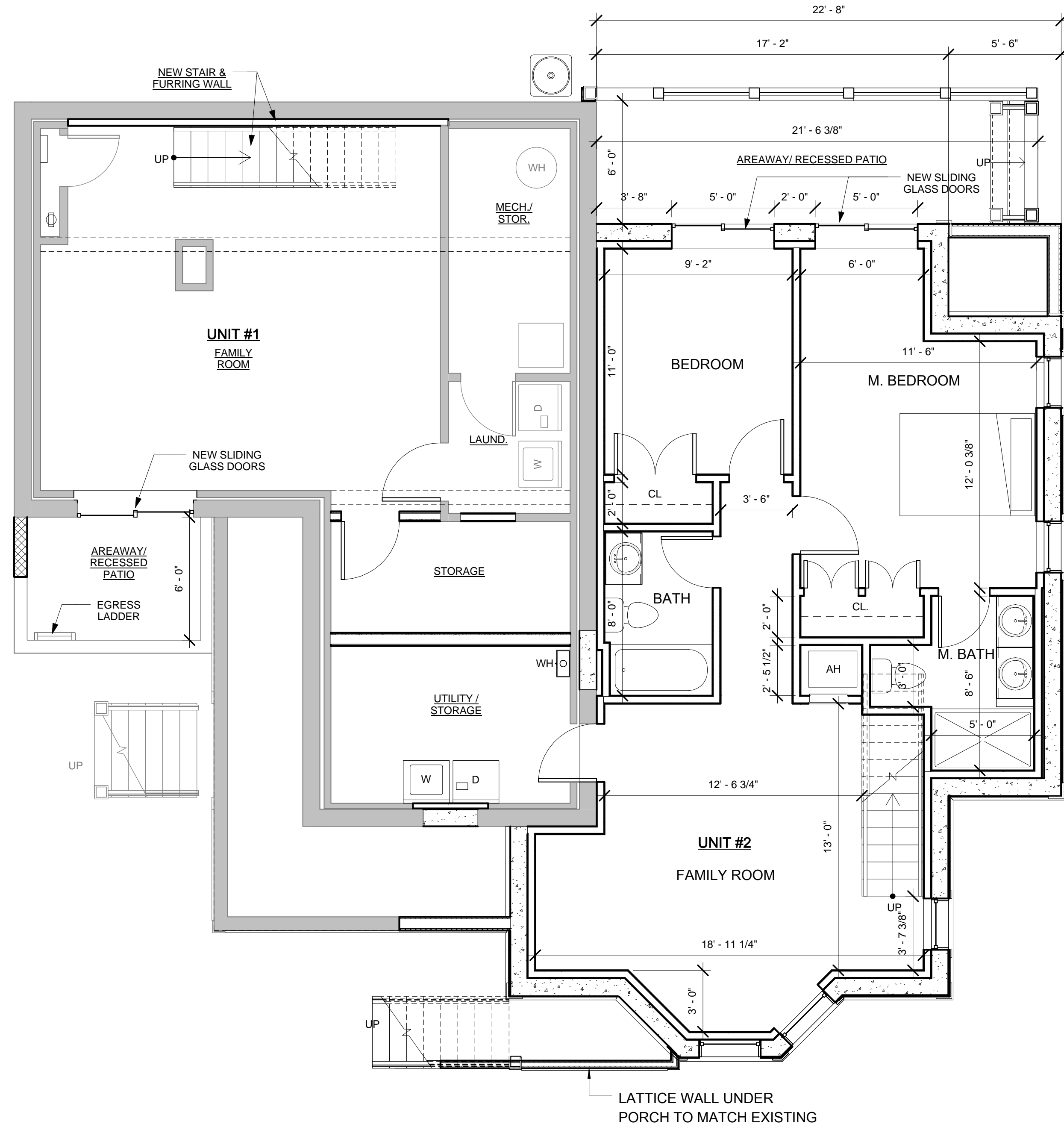
REVISIONS

No.	Description	Date

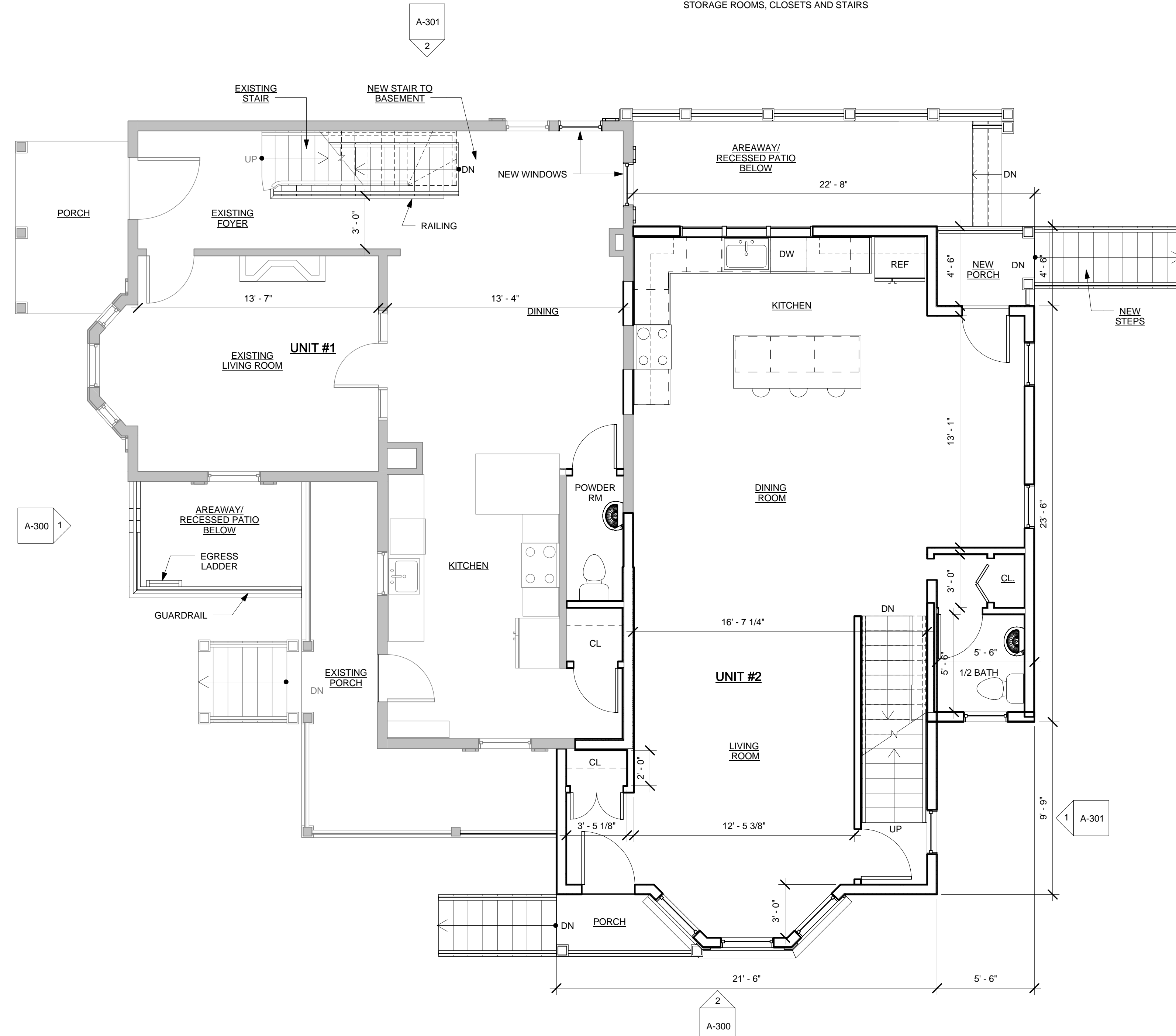
Basement & 1st Floor Plans

A-100

88 IRVING ST RESIDENCES



② Basement Level
 1/4" = 1'-0"



① 1st Floor Level
 1/4" = 1'-0"

PROJECT NAME

88 IRVING ST RESIDENCES

PROJECT ADDRESS
88 IRVING STREET
SOMERVILLE, MA

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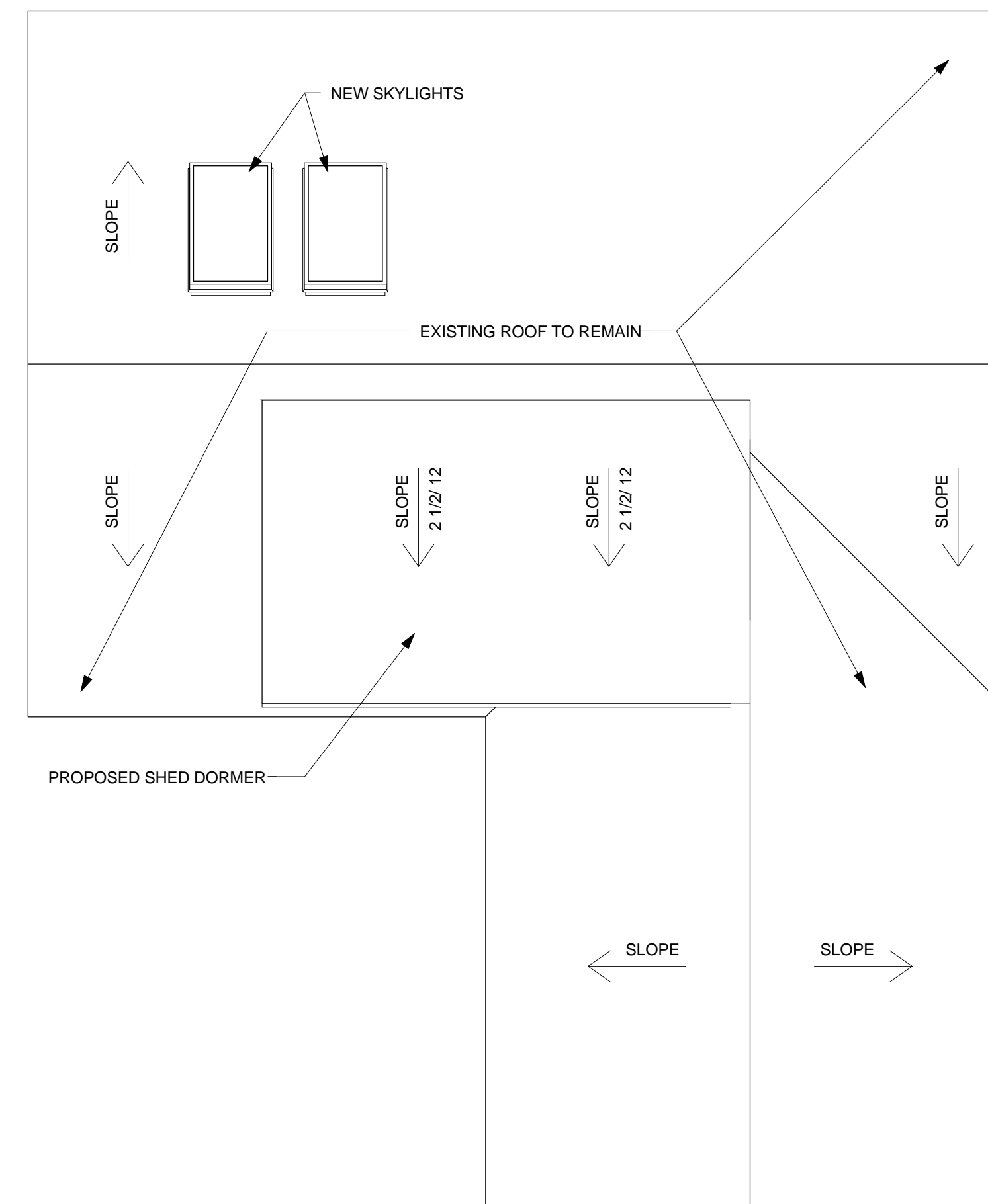
REVISIONS

No.	Description	Date

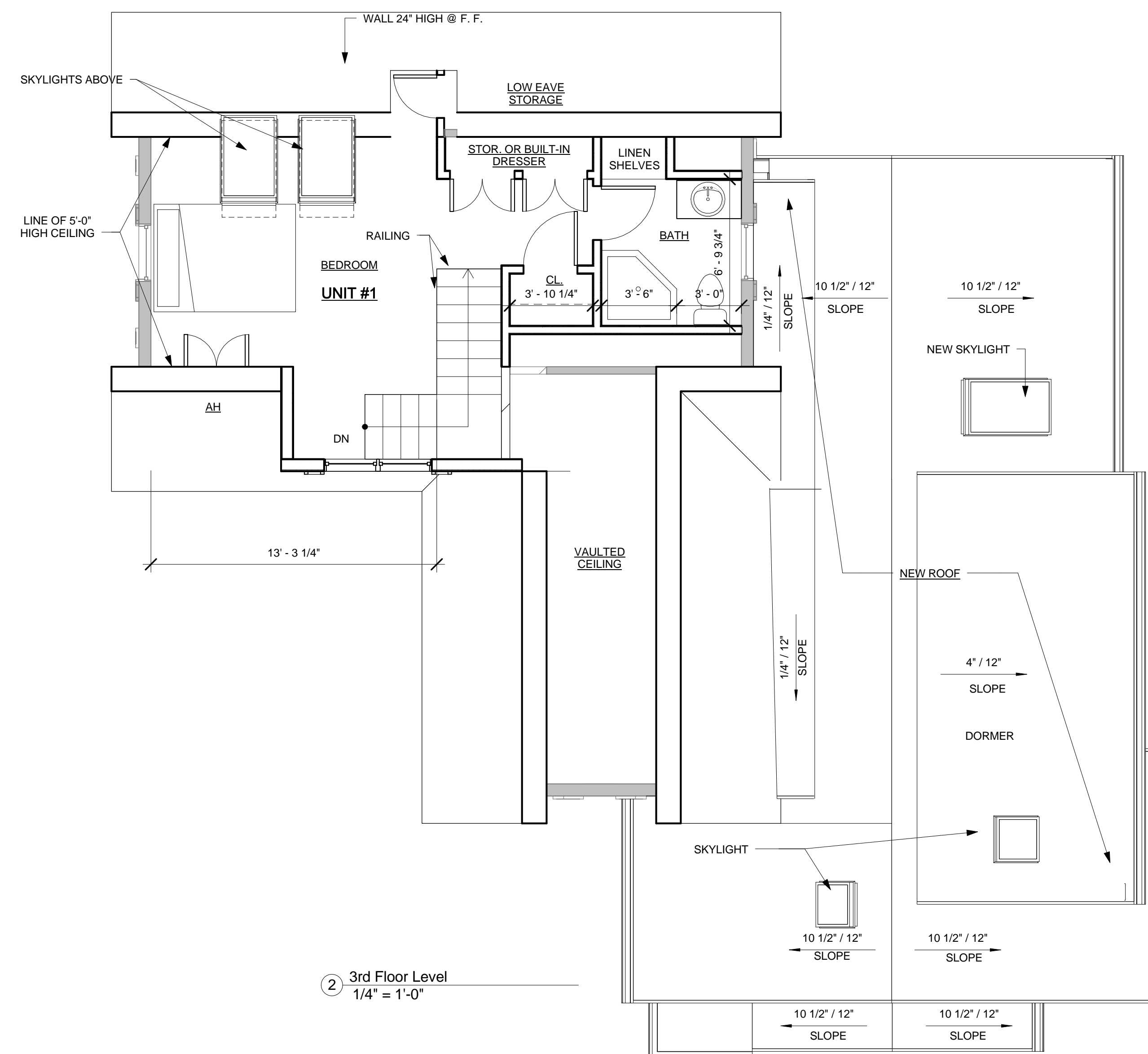
2nd Floor & Attic Floor Plans/ Roof Plan

A-101

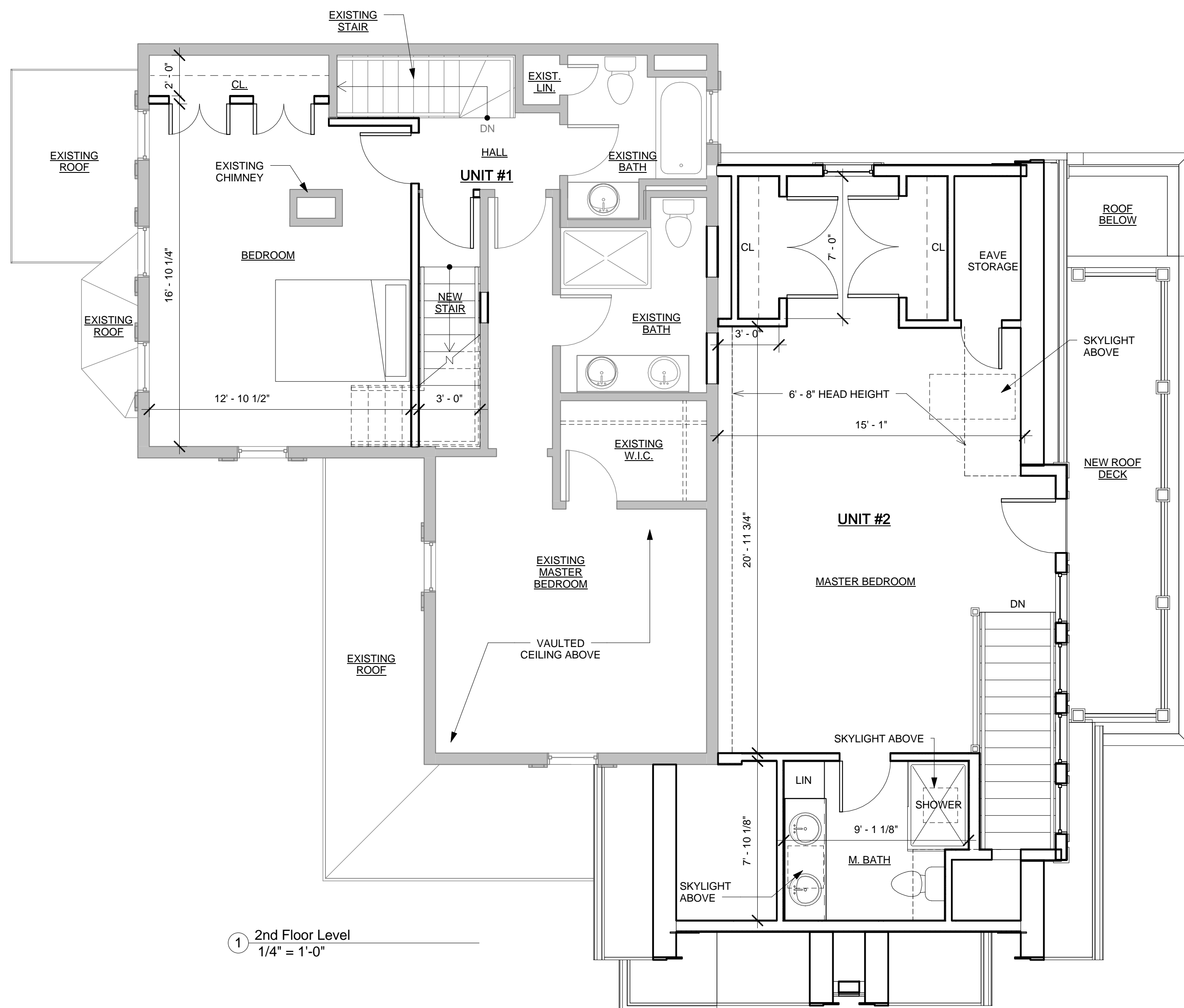
88 IRVING ST RESIDENCES



3 Roof Level
1/4" = 1'-0"



2 3rd Floor Level
1/4" = 1'-0"



1 2nd Floor Level
1/4" = 1'-0"

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PROJECT NAME
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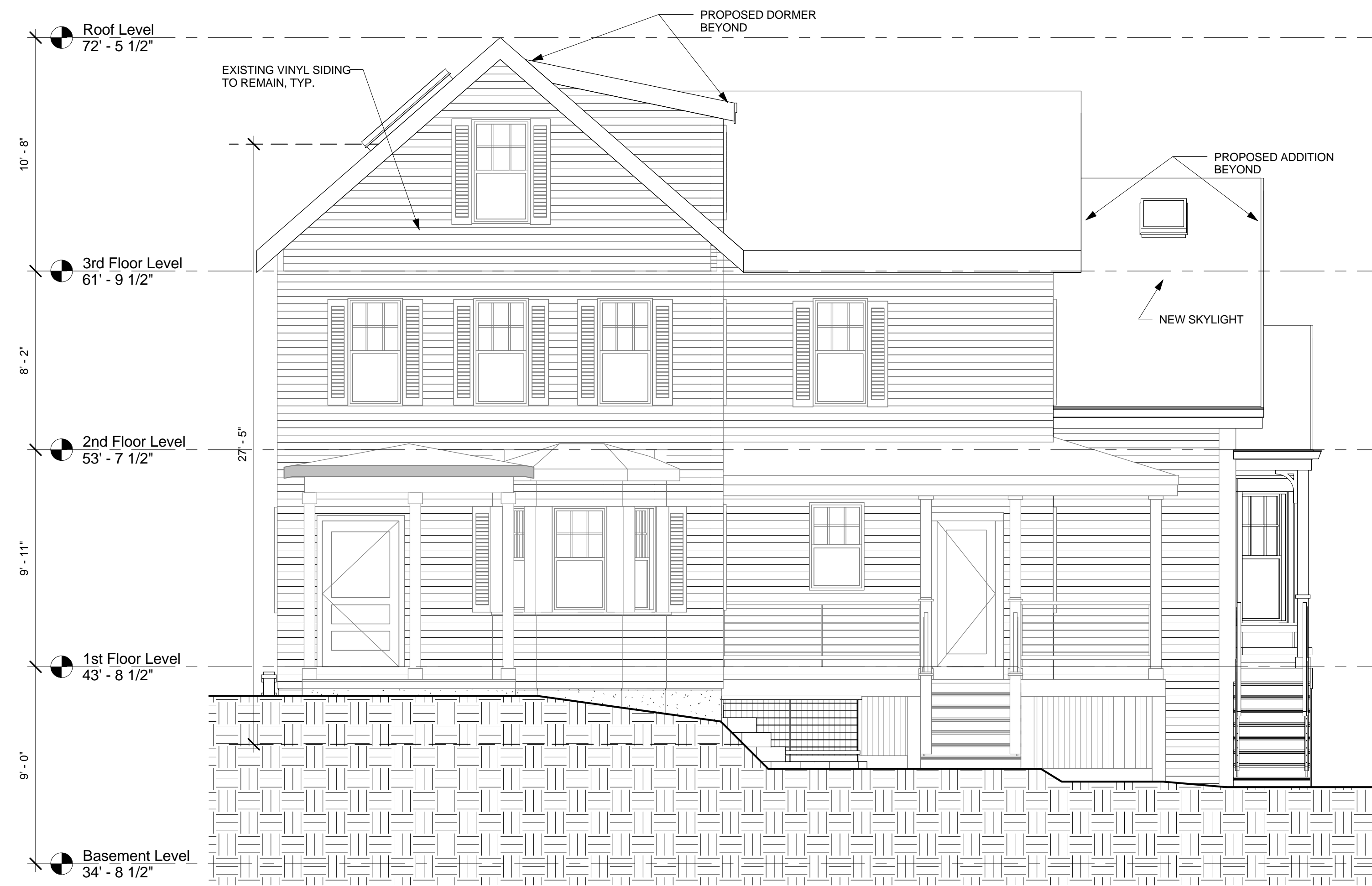
REVISIONS

No.	Description	Date

East & North
 Exterior Elevations

A-300

88 IRVING ST RESIDENCES



① East Elevation
 1/4" = 1'-0"



② North Elevation
 1/4" = 1'-0"

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① West Elevation
1/4" = 1'-0"



② South Elevation
1/4" = 1'-0"

PROJECT NAME
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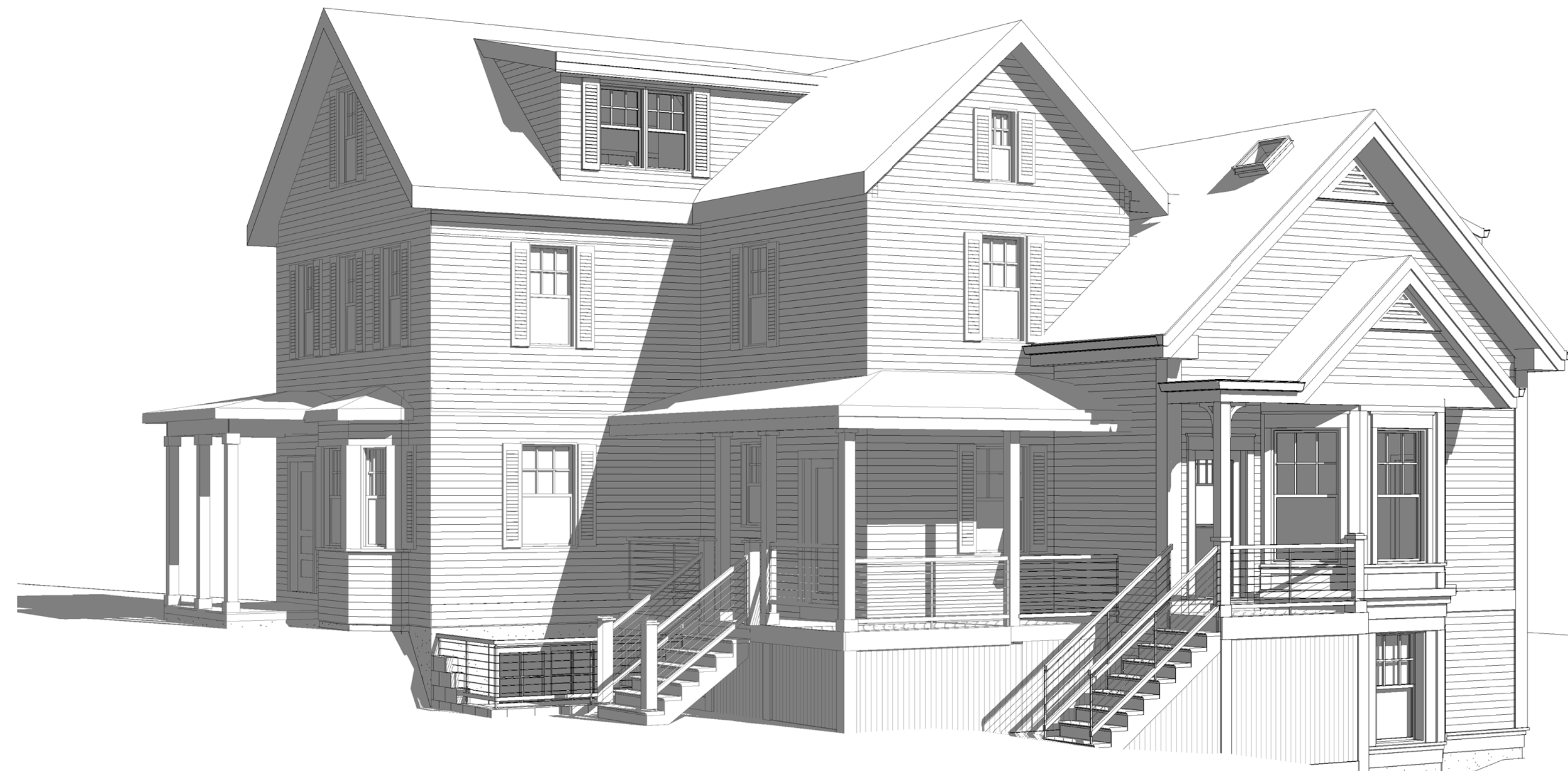
No.	Description	Date

West & South
Exterior Elevations

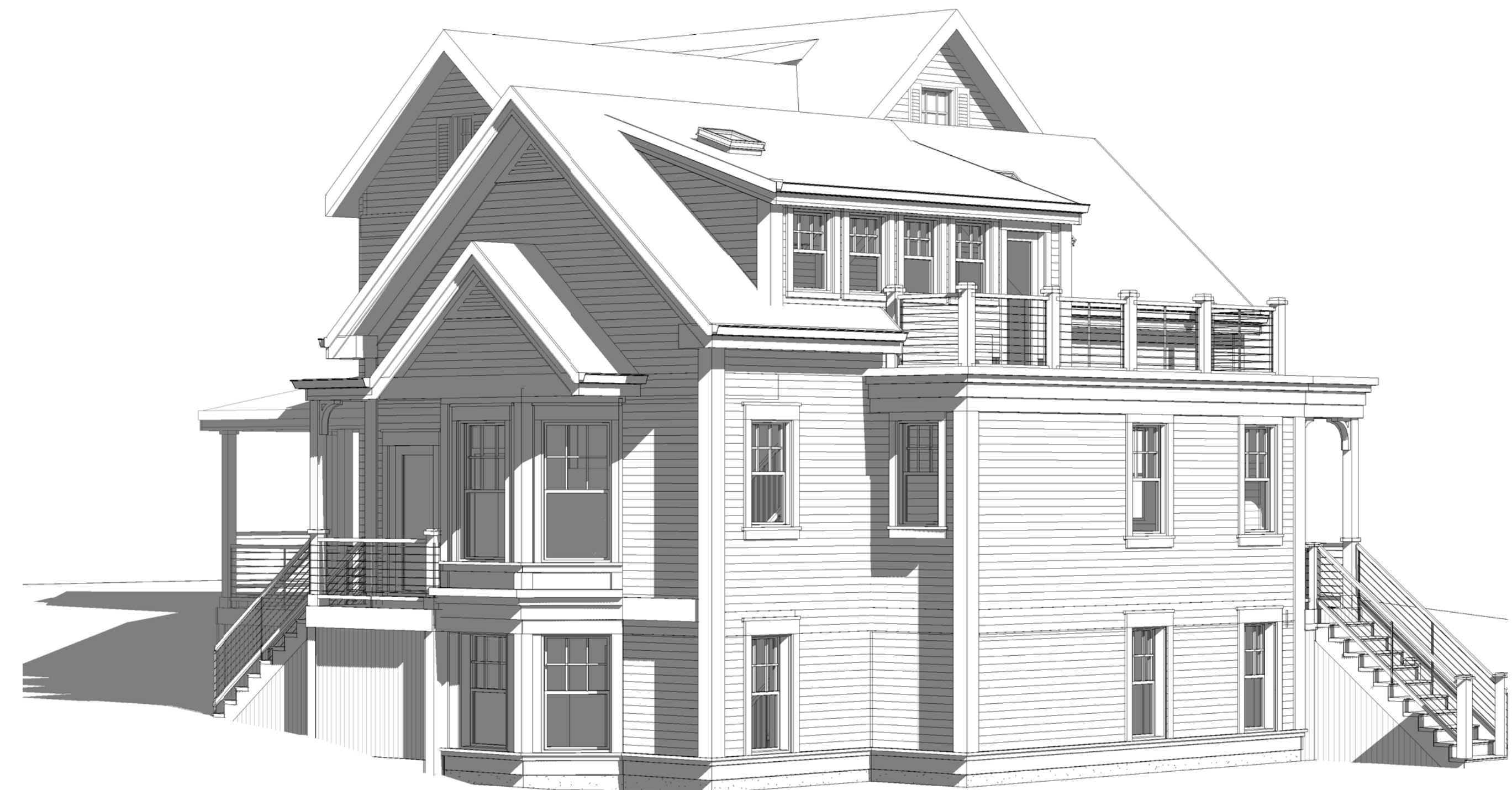
A-301

88 IRVING ST RESIDENCES

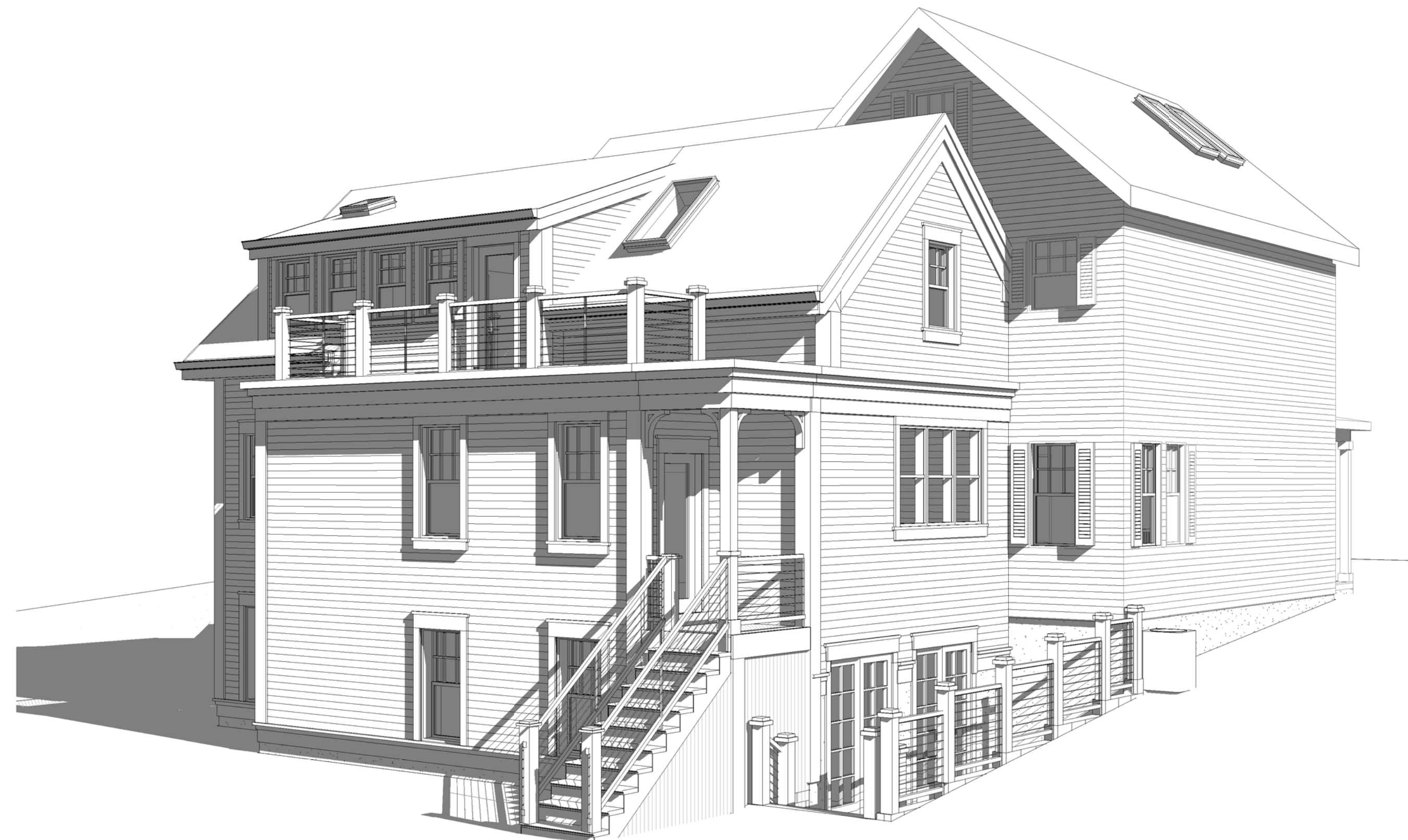
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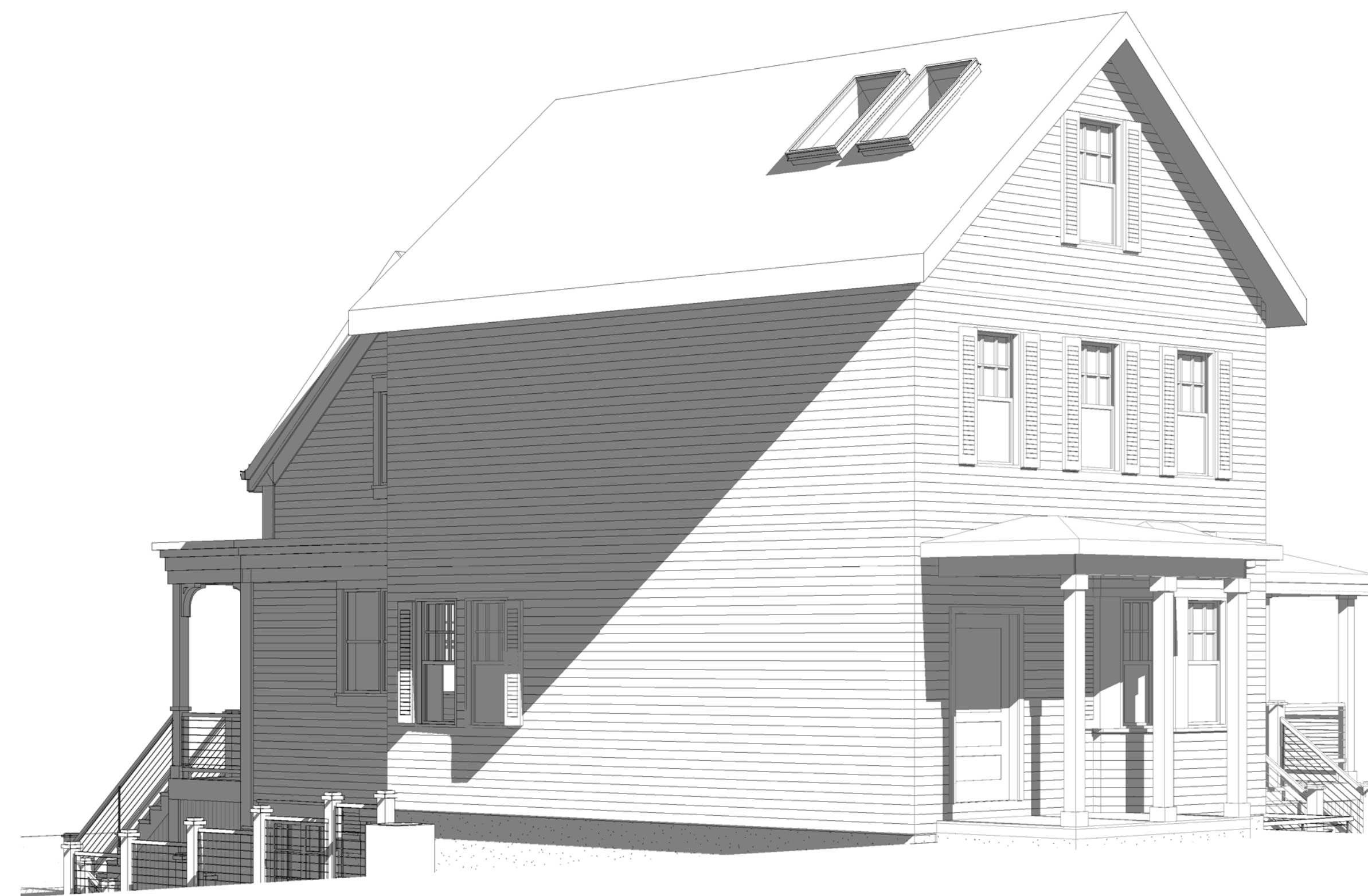
① 3D View 4



② 3D View 1



③ 3D View 2



④ 3D View 3

PROJECT NAME
**88 IRVING ST
RESIDENCES**

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Project number 16108
Date 07/21/2017
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Scale

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No.	Description	Date

Perspectives

AV-1

88 IRVING ST RESIDENCES

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